

*Hammock Reserve
Community Development District*

Agenda

April 5, 2022

AGENDA

Hammock Reserve

Community Development District

219 East Livingston Street, Orlando, Florida 32801

Phone: 407-841-5524 – Fax: 407-839-1526

March 29, 2022

**Board of Supervisors
Hammock Reserve
Community Development District**

Dear Board Members:

A meeting of the Board of Supervisors of the **Hammock Reserve Community Development District** will be held **Tuesday, April 5, 2022, at 1:30 PM** at **346 E. Central Ave., Winter Haven, FL 33880.**

Zoom Video Link: <https://us06web.zoom.us/j/86819275497>

Call-In Number: 1-646-876-9923

Meeting ID: 868 1927 5497

Following is the advance agenda for the meeting:

Board of Supervisors Meeting

1. Roll Call
2. Public Comment Period (¹Speakers will fill out a card and submit it to the District Manager prior to the beginning of the meeting)
3. Approval of Minutes of the March 1, 2022 Board of Supervisors Meeting
4. Presentation and Approval of Updated Amended and Restated Engineer's Report (Updated March 22, 2022)
5. Presentation and Approval of Updated Supplemental Assessment Methodology for AA3 (Dated April 5, 2022)
6. Consideration of Resolution 2022-05 Supplemental Assessment Resolution (*to be provided under separate cover*)
7. Consideration of Phase 2 Conveyance Documents

¹ Comments will be limited to three (3) minutes

8. Consideration of Resolution 2022-06 Authorizing the Use of Electronic Documents and Signatures
9. Staff Reports
 - A. Attorney
 - B. Engineer
 - C. Field Manager's Report
 - D. District Manager's Report
 - i. Approval of Check Register
 - ii. Balance Sheet & Income Statement
 - iii. Ratification of Summary of Series 2021 (AA2) Requisitions #63 to #74
10. Other Business
11. Supervisors Requests and Audience Comments
12. Adjournment

MINUTES

**MINUTES OF MEETING
HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Hammock Reserve Community Development District was held Tuesday, **March 1, 2022** at 1:30 p.m. at 346 E. Central Ave., Winter Haven, Florida.

Present and constituting a quorum:

Rennie Heath	Chairman
Lauren Schwenk	Vice Chairperson
Matthew Cassidy	Assistant Secretary
Justin Frye	Assistant Secretary
Andrew Rhinehart	Assistant Secretary

Also present were:

Jill Burns	District Manager, GMS
Roy Van Wyk	KE Law Group
Marshall Tindall	GMS
Ashton Bligh <i>by Zoom</i>	Greenberg Traurig

FIRST ORDER OF BUSINESS

Roll Call

Ms. Burns called the meeting to order and called the roll. There were five Board members present constituting a quorum.

SECOND ORDER OF BUSINESS

Public Comment Period

Ms. Burns stated that there were no members of the public present.

THIRD ORDER OF BUSINESS

**Approval of Minutes of the February 1,
2022 Board of Supervisors Meeting**

Ms. Burns presented the February 1, 2021, Board of Supervisors meeting minutes and asked for any comments, changes, or corrections. The Board had no changes to the minutes.

On MOTION by Mr. Heath, seconded by Ms. Schwenk, with all in favor, the Minutes of the February 1, 2021, Board of Supervisors Meeting, were approved.

FOURTH ORDER OF BUSINESS

Presentation and Approval of Supplemental Assessment Methodology for AA3

Ms. Burns presented the Supplemental Assessment Methodology for Assessment Area Phases 3 and 4. She noted that this supplemental report allocates debt to parcels that will benefit from the Capital Improvement Program for the Assessment Area 3 bonds. Ms. Burns noted that there are four parcels owned by CH DEV in Phase 3 and three parcels owned by Hammock Reserve Partners in Phase 4.

Ms. Burns noted that Table 1 shows the development program with 591 lots, 382 in Phase 3 and 209 in Phase 4. Table 2 shows the Capital Improvement Plan estimate from the Engineer’s report, it totals \$13,414,500 for this assessment area. Table 3 shows an estimated bond sizing of \$13,385,000. Table 4 shows the improvement cost per unit. Table 5 shows a par debt per unit of \$22,648. Table 6 shows the net annual assessment per unit of \$1,350 and gross is \$1,450. Table 7 shows the Preliminary Assessment Roll, the Phase 3 owner is CH DEV Hammock LLC and Phase 4 is Hammock Reserve Partners LLC.

Mr. Van Wyk asked if the Supplemental Assessment Methodology Report was consistent with the Master, and Ms. Burns confirmed that it was. Mr. Van Wyk asked if it was her opinion that the benefits from the improvements are greater than or equal to the amount of assessment, and Ms. Burns answered yes. Mr. Van Wyk asked if the assessments are fairly and reasonably apportioned across the product types that are subject to the assessment area, and Ms. Burns answered yes.

On MOTION by Ms. Schwenk, seconded by Mr. Rhinehart, with all in favor, Supplemental Assessment Methodology for AA3, was approved.
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FIFTH ORDER OF BUSINESS

**Consideration of Resolution 2022-03
Delegation Resolution**

Ms. Bligh noted that this supplemental resolution was contemplated when the Board adopted the original resolution in 2019. There were two amendments in 2021 increasing the not to exceed amount of bonds to \$31,000,000 overall. This resolution includes documents as exhibits to sell one series of bonds. Attached to the resolution are forms of documents including a Third

Supplemental Indenture, a Purchase Contract, an Offering Document, a Rule 15c212 Certificate, and a Continuing Disclosure Agreement.

Ms. Bligh reviewed sections 4 and 5 of the resolution. Under section 4 there have to be certain findings so that a District does not have to do a public offering and those findings are listed under section 4. Section 5 includes the parameters for the bonds. Optional redemption of the bonds will be determined at pricing, the interest rate on the bonds shall not exceed the maximum rate allowed by law, the aggregate principal amount of the Assessment Area 3 bond shall not exceed \$18,000,000, the Assessment Area 3 bonds shall have a final maturity not later than the maximum term allowed by Florida Law, and the price at which the Assessment Area 3 bonds will be sold to the underwriter shall not be less than 98% of the aggregate face amount of the Assessment Area 3 bonds. The Board had no questions on the resolution.

On MOTION by Ms. Schwenk, seconded by Mr. Heath, with all in favor, Resolution 2022-03 Delegation Resolution, was approved.

SIXTH ORDER OF BUSINESS

**Consideration of Resolution 2022-04
Setting a Public Hearing to Adopt
Amenity Policies and Rates**

Ms. Burns presented the resolution and suggested that the public hearing be held on May 3, 2022 at 1:30 p.m.

On MOTION by Ms. Schwenk, seconded by Mr. Heath, with all in favor, Resolution 2022-04 Setting a Public Hearing to Adopt Amenity Policies and Rates for May 3, 2022 at 1:30 p.m., was ratified.

SEVENTH ORDER OF BUSINESS

Staff Reports

A. Attorney

Mr. Van Wyk had nothing further to report for the Board.

B. Engineer

There being no engineer present, the next item followed.

C. Field Manager’s Report

Mr. Tindall reviewed his report, noting that the items completed included annual maintenance and construction projects. He also noted he was still trying to get ahold of the contractor to fix the ruts that were caused by construction.

D. District Manager's Report

i. RFQ for Engineering with Due Date April 15th

Ms. Burns presented the RFQ and asked for a motion to approve.

On MOTION by Ms. Schwenk, seconded by Mr. Heath, with all in favor, the RFQ for Engineering with Due Date April 15th, was approved.

ii. Approval of Check Register

Ms. Burns presented the check register and asked for a motion to approve. The total was \$18,901.03.

On MOTION by Mr. Heath, seconded by Mr. Cassidy, with all in favor, the Check Register, was approved.

iii. Balance Sheet & Income Statement

Ms. Burns stated that the financials were included in the packet for review. There was no action necessary. The Board had no questions on the financials.

iv. Ratification of Summary of Series 2020 (AA2) Requisitions #55 to #62

Ms. Burns noted that these have been approved, they just need to be ratified by the Board.

On MOTION by Mr. Heath, seconded by Mr. Rhinehart, with all in favor, the Summary of Series 2020 (AA2) Requisitions #55 to #62, were ratified.

EIGHTH ORDER OF BUSINESS

Other Business

There being none, the next item followed.

NINTH ORDER OF BUSINESS

**Supervisors Requests and Audience
Comments**

There being none, the next item followed.

TENTH ORDER OF BUSINESS

Adjournment

Ms. Burns adjourned the meeting.

On MOTION by Mr. Rhinehart, seconded by Mr. Heath, with all in favor, the meeting was adjourned.

Secretary/Assistant Secretary

Chairman/Vice Chairman

SECTION IV

**HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT
AMENDED AND RESTATED ENGINEER'S REPORT
FOR CAPITAL IMPROVEMENTS**

Prepared for:

**BOARD OF SUPERVISORS
HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

Prepared by:

**WOOD & ASSOCIATES ENGINEERING, LLC
1925 BARTOW ROAD
LAKELAND, FL 33801
PH: 863-940-2040**

June 17, 2021

**HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

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EXHIBIT 4 -Zoning Map

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EXHIBIT 6- Utility Location Map & Drainage Flow Pattern Map

EXHIBIT 7- Summary of Opinion of Probable Costs

EXHIBIT 8- Summary of Proposed District Facilities

EXHIBIT 9 – Overall Site Plan Phase 1 & 2

EXHIBIT 10 – Overall Site Plan Phase 3 & 4

**AMENDED AND RESTATED THE ENGINEER'S REPORT
HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

I. PURPOSE

The purpose of this Amended and Restated Engineer's Report is to provide engineering support for the expanded boundaries of Hammock Reserve Community Development District (CDD). The original CDD boundaries contain two phases (Phase 1-231 lots; Phase 2-206 lots) consisting of approximately 109.99 acres, as contemplated in the original Master Engineer's Report for Capital Improvements dated December 17, 2019, as supplemented by that Supplemental Engineer's Report for Capital Improvements, dated March 25, 2021. Phases 1 and 2 remains unchanged by this report. The expanded CDD includes the addition of Phase 3 consisting of 382 single family lots and Phase 4 consisting of 209 lots. The expanded CDD will have a total of 1,028 single family lots and consist of approximately 393.19 acres.

II. INTRODUCTION

The Hammock Reserve Community Development District (the "District") is north and south of Old Polk City Road and Old Haines City Lake Alfred Road and west of Hwy 27, within Haines City (the "City") and unincorporated Polk County, Florida (the "County"). The District consists of approximately 393.19 acres and is expected to contain 1,028 single family lots, recreation / amenity areas, parks, and associated infrastructure.

The CDD was established under City Ordinance No. 19-1665 which was approved by the Haines City Commission ("City Commission") on December 5, 2019 and further amended by City Ordinance No. 21-1731 approved by the City Commission on June 3, 2021 and consented to by the Polk County Commission ("County Commission") by County Resolution 21-041 approved on April 6, 2021. The District will own and operate the public roadways and stormwater management facilities, as well as the landscape, irrigation, signage, and recreational facilities within the development.

Public improvements and facilities financed, acquired, and/or constructed by the District will be designed and constructed to conform to regulatory criteria from the City, the County, Southwest Florida Water Management District (SWFWMD), and other applicable

agencies with regulatory jurisdiction over the development. An overall estimate of probable cost of the public improvements is provided in Exhibit 7 of this report.

This “Capital Improvement Plan” or “Report” reflects the present intentions of the District and the landowners. It should be noted that the location of proposed facilities and improvements may be adjusted during the final design, permitting, and implementation phases. It should also be noted that these modifications are not expected to diminish the benefits received by the property within the District. The District reserves the right to make reasonable adjustments to the development plan to meet applicable regulatory requirements of agencies with jurisdiction over the development, while maintaining comparable level of benefits to the lands served by the improvements. Changes and modifications are expected as changes in regulatory criteria are implemented.

Implementation of any proposed facilities or improvements outlined in this Report requires written approval from the District’s Board of Supervisors. Estimated costs outlined in this report are based on best available information, which includes but is not limited to previous experience with similar projects. Actual costs could be different than estimates because final engineering and specific field conditions may affect construction costs.

All roadway improvements including sidewalks in the right-of-way and storm drainage collection systems (from the curb inlets to their connection to the Stormwater ponds) within the development will be maintained by the District. Water distribution and wastewater collection systems (gravity lines, force mains, and lift stations) will, upon completion, be dedicated to the City for ownership and maintenance.

III. SCOPE

The purpose of this Report is to provide engineering support to fund improvements in the District. This Report will identify the proposed public infrastructure to be constructed or acquired by the District along with an opinion of probable cost.

Contained within this Report is a brief description of the public infrastructure to be constructed or acquired by the District. The District will finance, construct, acquire, operate, and maintain all or specific portions of the proposed public infrastructure. An

assessment methodology consultant has been retained by the District, who will develop the assessment and financing methodology to be applied using this Report. The predominant portion of this Report provides descriptions of the proposed public infrastructure improvements, determination of estimated probable construction costs, and the corresponding benefits associated with the implementation of the described improvements. Detailed site construction plans and specifications have not yet been completed and permitted for the improvements described herein. The engineer has considered, and in specific instances has relied upon, the information and documentation prepared or supplied by others, and information that may have been provided by public entities, public employees, the landowner, site construction contractors, other engineering professionals, land surveyors, the District Board of Supervisors, and its staff and consultants.

IV. THE DEVELOPMENT

The Development will consist of 1,028 single family homes and associated infrastructure (“Development”). The Development is a planned residential community located north and south of Old Polk City Road and Old Haines City Lake Alfred Road, and west of Hwy 27 within the City and the County. The original District lands have a future land use designation of LDR (Low Density Residential) and a zoning of RPUD (Residential Planned Unit Development). The expansion parcels now within the District have an existing land use of Polk County RL-4 (Residential Low), Polk County RL-1 (Residential Low), Polk County A/RR (Agriculture/Residential Rural), Polk County PD (Planned Development) and Haines City AG (Agriculture) and CON (Conservation). The expansion parcels designated with County future land use and zoning is anticipated to be annexed into the City of Haines City and have a proposed future land use of Haines City LDR and a proposed zoning of Haines City RPUD.

V. THE CAPITAL IMPROVEMENTS

The system of improvements comprising the Capital Improvement Plan, (the “CIP”), consists of public infrastructure in Phase 1, Phase 2, Phase 3, and Phase 4. Phases 1 and 2 remain unchanged by this report. The primary portions of the CIP will entail stormwater pond construction, roadways built to an "urban" typical section, water and sewer facilities and off-site improvements (including turn lanes and extension of water and sewer mains to serve the development).

There will also be stormwater structures and conveyance culverts within the CIP which will outfall into the on-site retention ponds. These structures and pond areas comprise the overall stormwater facilities of the CIP. Installation of the water distribution and wastewater collection system will also occur at this time. Below ground installation of telecommunications and cable TV will occur, but will not be funded by the District. The CDD will enter into a lighting agreement with Duke Energy for the street light poles and lighting service. Only undergrounding of wire in public right-of-way on District Land is included.

As a part of the recreational component of the CIP, a public park/amenity center will be within the development. The public park/amenity center will have connectivity via sidewalks to the other portions of the District. The public park/amenity center will be accessed by the public roadways and sidewalks.

The improvements will be on land that upon acquisition of the improvement by the District, is owned by, or subject to a permanent easement in favor of, the district or another governmental entity.

VI. CAPITAL IMPROVEMENT PLAN COMPONENTS

The system of improvements comprising the Capital Improvement Plan includes the following:

Stormwater Management Facilities

Stormwater management facilities consisting of storm conveyance systems and retention ponds are contained within the District boundaries. Stormwater runs off via roadway curb and gutter to storm inlets. Storm culverts convey the runoff into the proposed retention ponds for water quality treatment and attenuation. The proposed stormwater systems will utilize dry retention and wet retention for biological pollutant assimilation to achieve water quality treatment. The design criteria for the District's stormwater management systems is regulated by the City, the County, and the SWFWMD. There are no known surface waters.

Federal Emergency Management Agency Flood Insurance Rate Map (FEMA FIRM) Panel No. 12105C-0357G (dated 12/22/2016), demonstrates that the property is located within Flood Zone X, and Panel No. 12105C0356G and 12105C0219G (dated 12/22/2016) in Flood Zone AE. Based on this information and the site topography, it does not appear that floodplain compensation will be required.

During the construction of stormwater management facilities, utilities and roadway improvements, the contractor will be required to adhere to a *Stormwater Pollution Prevention Plan* (SWPPP) as required by Florida Department of Environmental Protection (FDEP) as delegated by the Environmental Protection Agency (EPA). The SWPPP will be prepared to depict for the contractor the proposed locations of required erosion control measures and staked turbidity barriers specifically along the down gradient side of any proposed construction activity. The site contractor will be required to provide the necessary reporting on various forms associated with erosion control, its maintenance and any rainfall events that occur during construction activity.

Public Roadways

The proposed public roadway sections are to be 50' R/W and 40' R/W with 24' and 20' of asphalt and Miami curb or Type F curb and gutter on both sides. The proposed roadway section will consist of stabilized subgrade, lime rock, crushed concrete or cement treated base and asphalt wearing surface. The proposed curb is to be 2' wide and placed along the edge of the proposed roadway section for purposes of protecting the integrity of the pavement and also to provide stormwater runoff conveyance to the proposed stormwater inlets.

The proposed roadways will also require signing and pavement markings within the public rights-of-way, as well as street signs depicting street name identifications, and addressing, which will be utilized by the residents and public. As stated above, the District's funding of roadway construction will occur for all public roadways.

Water and Wastewater Facilities

A potable water system inclusive of water main, gate valves, fire hydrants and appurtenances will be installed for the Development. The water service provider will be the City of Haines City Public Utilities. The water system will be a "looped" system. These facilities will be installed within the proposed public rights-of-way within the District. This water will provide the potable (domestic) and fire protection services which will serve the entire District.

A domestic wastewater collection system inclusive of gravity sanitary sewer mains and sewer laterals will be installed. The gravity sanitary sewer mains will be 8" diameter PVC. The gravity sanitary sewer lines will be placed inside of the proposed public rights-of-way, under the proposed paved roadways. Branching off from these sewer lines will be laterals to serve the individual lots. Lift stations are anticipated for this CIP. Flow from the lift station shall be connected to a proposed force main along near US 27.

Reclaimed water is not available for this site. An irrigation well to be funded by the District will be installed onsite to provide irrigation within the public right of way or irrigation water service shall be provided as part of the domestic water system design. Any water, sewer, or reclaim water pipes or facilities placed on private property will not be publicly funded.

Off-Site Improvements

The District will provide funding for the anticipated turn lanes at the development entrance. The site construction activities associated with the CIP are anticipated for completion by phases based on the following estimated schedule: Phase 1 in 2020; Phase 2 in 2021; Phase 3 in 2022; Phase 4 in 2022. Upon completion of each phase of these improvements, inspection/certifications will be obtained from the SWFWMD; the Polk County Health Department (water distribution system), Florida Department of Environmental Protection (FDEP) (wastewater collection) and the City/County.

Public Amenities and Parks

The District will provide funding for a public Amenity Center to include the following: pavilion with tot lot, dog park/all-purpose play field, and walking trails between the phases to provide connectivity to the public Amenity Center, and passive parks throughout the development which will include benches and walking trails.

Electric and Lighting

The electric distribution system thru the District is currently planned to be underground. The District presently intends to fund the difference between overhead and underground service to the CDD. Electric facilities funded by the District will be owned and maintained by the District, with Duke Energy providing underground electrical service to the Development. The CDD will enter into a lighting agreement with Duke Energy for the street light poles and lighting service. Only undergrounding of wire in public right-of-way on District land is included.

Entry Feature, Landscaping, and Irrigation

Landscaping, irrigation, entry features and walls at the entrances and along the outside boundary of the Development will be provided by the District. The irrigation system will use an irrigation well. The well and irrigation watermain to the various phases of the development will be constructed or acquired by the CDD with District funds and operated and maintained by the CDD. Landscaping for the roadways will consist of sod, annual flowers, shrubs, ground cover and trees for the internal roadways within the CDD. Perimeter fencing will be provided at the site entrances and perimeters. These items will be funded, owned and maintained by the CDD.

Miscellaneous

The stormwater improvements, landscaping and irrigation, recreational improvements, street lighting, and certain permits and professional fees as described in this report, are being financed by the District with the intention for benefiting all of the developable real property within the District. The construction and maintenance of the proposed public improvements will benefit the development for the intended use as a single-family planned development.

VII. PERMITTING

Construction permits for all phases are required and include the SWFWMD Environmental Resource Permit (ERP), Polk County Health Department, Florida Department of Environmental Protection (FDEP), Army Corps of Engineer Permit (ACOE), and City construction plan approval.

Following is a summary of required permits obtained and pending for the construction of the public infrastructure improvements for the District:

PHASE 1 (231 Lots)

Permits / Approvals	Approval / Expected Date
Zoning Approval	Approved
Preliminary Plat	Approved
SWFWMD ERP	Approved
Construction Permits	Approved
Polk County Health Department Water	Approved
FDEP Sewer	Approved
FDEP NOI	Approved
ACOE	N/A

PHASE 2 (206 Lots)

Permits / Approvals	Approval / Expected Date
Zoning Approval	Approved
Preliminary Plat	Approved
SWFWMD ERP	February 2021
Construction Permits	February 2021
Polk County Health Department Water	February 2021
FDEP Sewer	February 2021
FDEP NOI	February 2021
ACOE	N/A

PHASE 3 (382 Lots)

Permits / Approvals	Approval / Expected Date
Zoning Approval	July 2021
Preliminary Plat	July 2021
SWFWMD ERP	July 2021
Construction Permits	July 2021
Polk County Health Department Water	July 2021
FDEP Sewer	July 2021
FDEP NOI	July 2021
ACOE	N/A

PHASE 4 (209 Lots)

Permits / Approvals	Approval / Expected Date
Zoning Approval	Approved
Preliminary Plat	Not Required
SWFWMD ERP	July 2021
Construction Permits	July 2021
Polk County Health Department Water	July 2021
FDEP Sewer	July 2021
FDEP NOI	July 2021
ACOE	N/A

VIII. RECOMMENDATION

As previously described within this report, the public infrastructure as described is necessary for the development and functional operation as required by the City. The site planning, engineering design and construction plans for the infrastructure are in accordance with the applicable requirements of the City of Haines City, and the SWFWMD. It should be noted that the infrastructure will provide its intended use and function so long as the construction and installation is in substantial conformance with the design construction plans and regulatory permits.

Items utilized in the *Opinion of Probable Costs* for this report are based upon proposed plan infrastructure as shown on construction drawings incorporating specifications in the most current SWFWMD and the City regulations.

IX. REPORT MODIFICATION

During development and implementation of the public infrastructure improvements as described for the District, it may be necessary to make modifications and/or deviations for the plans. However, if such deviations and/or revisions do not change the overall primary objective of the plan for such improvements, then the costs differences would not materially affect the proposed cost estimates. This report may be amended or supplemented from time to time to provide for necessary changes in the development plan.

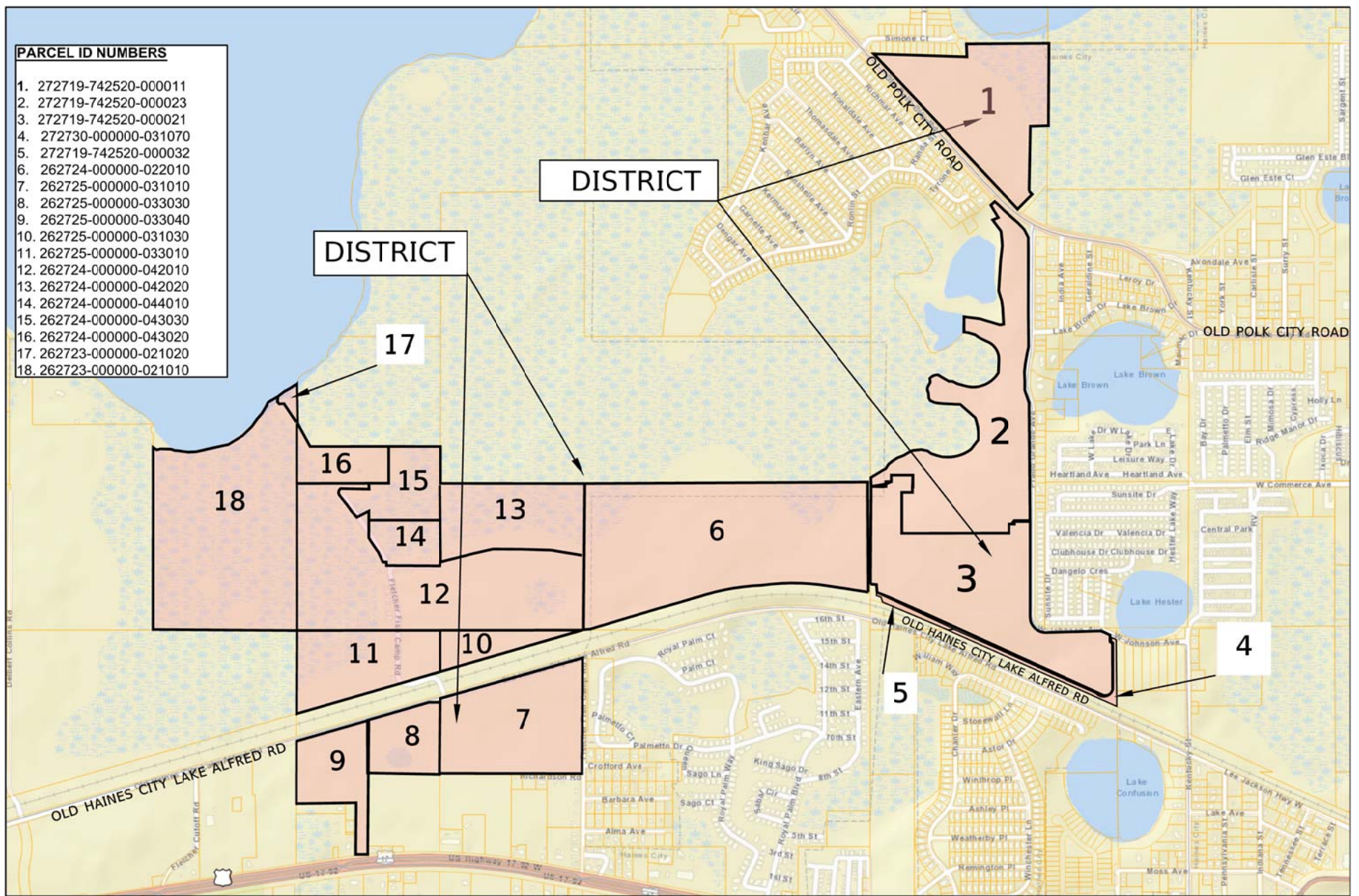
X. CONCLUSION

It is our professional opinion that the public infrastructure costs for the CIP provided in this Report are reasonable to complete the construction of the public infrastructure improvements. Furthermore, the public infrastructure improvements will benefit and add value to lands within the District at least equal to the costs of such improvements.

The *Opinion of Probable Costs* of the public infrastructure improvements is only an estimate and is not a guaranteed maximum price. The estimated costs are based upon unit prices currently experienced on an ongoing and similar basis for work in the County. However, labor market, future costs of equipment, materials, changes to the regulatory permitting agencies activities, and the actual construction processes employed by the chosen site contractor are beyond the engineer's control. Due to this inherent opportunity for changes (upward or downward) in the construction costs, the total, final construction cost may be more or less than this estimate.

Based upon the presumption that the CIP construction continues in a timely manner, it is our professional opinion that the proposed public infrastructure improvements when constructed and built in substantial conformance with the approved plans and specifications, can be completed and used for their intended function. Be advised that we have utilized historical costs and direct unit costs from site contractors and consultants in the County, which we believe to be necessary in order to facilitate accuracy associated with the *Opinion of Probable Costs*. Based upon the information above, it is our professional opinion that the acquisition and construction costs of the proposed CIP can be completed at the cost as stated.

- PARCEL ID NUMBERS**
1. 272719-742520-000011
 2. 272719-742520-000023
 3. 272719-742520-000021
 4. 272730-000000-031070
 5. 272719-742520-000032
 6. 262724-000000-022010
 7. 262725-000000-031010
 8. 262725-000000-033030
 9. 262725-000000-033040
 10. 262725-000000-031030
 11. 262725-000000-033010
 12. 262724-000000-042010
 13. 262724-000000-042020
 14. 262724-000000-044010
 15. 262724-000000-043030
 16. 262724-000000-043020
 17. 262723-000000-021020
 18. 262723-000000-021010



DISTRICT

DISTRICT

**EXHIBIT 1 - LOCATION MAP
HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**



1925 BARTOW ROAD • LAKELAND, FL 33801
OFFICE: (863) 940-2040 • FAX: (863) 940-2044 • CELL: (863) 662-0018
EMAIL: INFO@WOODCIVIL.COM

LEGEND
 HAMMOCK RESERVE CDD



HAMMOCK RESERVE CDD
LEGAL DESCRIPTION OF DISTRICT AS AMENDED

Tract #1: All of the Replat of a part of Golf Grounds Estates and Agua Vista Country Club, Haines City, Florida, as shown by map or plat thereof recorded in Plat Book 41, Page 26, Public Records of Polk County, Florida, LESS AND EXCEPT that part thereof as set forth in Final Judgment, Case No. 18404-31-542, filed June 27, 1968, recorded in O.R. Book 1164, Page 498, Public Records of Polk County, Florida and LESS AND EXCEPT beginning at the Northwest (NW) corner of the Northwest Quarter (NW 1/4) of Section 19, Township 27 South, Range 27 East, and then run South Eighty-seven (87) feet more or less to the easterly boundary line of the right of way of County Road No. 17, then run in a easterly direction a distance of 872.50 feet more or less to a point 118 feet South of the South boundary line of Section 18, Township 27 South, Range 27 East; then run north 118 feet to the South boundary line of said Section 18, then run West along the said South Boundary line a distance of 871.95 feet to the point of beginning.

ALSO LESS AND EXCEPT that portion conveyed to D E Ranch, Inc., a Florida corporation, by deed recorded in O.R. Book 10268, Page 2011, Public Records of Polk County, Florida.

Tract #2: All that part of West half of NE 1/4 of NW 1/4 and all that part of NE 1/4 of NW 1/4 of NW 1/4 (or NE 1/4 of United States Government Lot 1), lying North of the ACL Railroad Right of Way in Section 30, Township 27 South, Range 27 East, Polk County, Florida.

LESS and EXCEPT that portion of Tract #2 lying within and North of the right of way of Johnson Avenue West.

LESS and EXCEPT that portion of Tracts #1 and 2 conveyed by deed recorded in O.R. Book 8278, Page 1958, Public Records of Polk County, Florida, being more particularly described as follows:

Commence at the Southwest corner of Section 19, Township 27 South, Range 27 East, Polk County, Florida and run N00°02'56"W, along the West boundary of said Section 19, 280.75 feet to the Point of Beginning, said point being on the Northerly right of way boundary of the CSX railroad right of way; thence continue N00°02'56"W along said West boundary, 81.65 feet; thence S65°19'34"E, 515.47 feet; thence S65°43'55"E, parallel with, and 30 feet Northerly of said railroad right of way, 1831.08 feet to the beginning of a curve concaved Northwesterly, having a radius of 75.00 feet, a central angle of 114°32'24", a chord bearing of N56°59'53"E, and a chord distance of 126.18 feet; thence along said curve, an arc distance of 149.93 feet to the end of said curve; thence N00°16'19"W, 408.82 feet; thence N63°52'00"W, 33.49 feet; thence N00°16'21"W, 60.00 feet to the Southerly right of way boundary of Johnson Avenue; thence S63°52'00"E, along said right of way boundary, 66.99 feet; thence S00°16'19"E, along the West boundary of Lake Hester Estates Subdivision, and the Southerly projection of that West boundary, 617.29 feet to its intersection with the aforementioned Northerly right of way of the CSX railroad; thence N65°43'55"W along said right of way, 1994.45 feet to the beginning of a curve concaved Southwesterly, having a radius of 2869.35 feet, a central angle of 09°40'02", a chord bearing of N70°34'01"W, and a chord distance of 483.55 feet; thence along said curve, an arc distance of 484.13 feet to the Point of Beginning.

AND LESS

THAT PART OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 27 SOUTH, RANGE 27 EAST, POLK COUNTY, FLORIDA DESCRIBED AS:

COMMENCE AT A 4" X 4" CONCRETE MONUMENT STAMPED "LS 1943" STANDING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 19, AND RUN THENCE ALONG THE NORTH LINE THEREOF N-89°55'35"-E, 1617.81 FEET; THENCE DEPARTING SAID NORTH LINE, S-00°04'27"-E, 764.04 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S-00°04'27"-E, 536.47 FEET; THENCE ALONG A NON-RADIAL LINE S-41°17'42"-W, 340.63 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF OLD POLK CITY ROAD (STATE ROAD S-17) PER OFFICIAL RECORDS BOOK 1164, PAGE 498, PUBLIC RECORDS OF POLK COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT ON A CURVE CONCAVE NORTHEASTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 1105.92 FEET, A CENTRAL ANGLE/Delta OF 02°36'03", A CHORD BEARING OF N-53°40'29"-W, A CHORD DISTANCE OF 50.20 FEET, FOR AN ARC LENGTH OF 50.20 FEET; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY, AND ALONG A NON-RADIAL LINE, N-41°17'42"-E, 193.47 FEET; THENCE N-00°09'47"-E, 593.50 FEET; THENCE S-89°49'38"-E, 163.01 FEET TO THE **POINT OF BEGINNING**.

AND LESS

THAT PART OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 27 SOUTH, RANGE 27 EAST, POLK COUNTY, FLORIDA DESCRIBED AS:

COMMENCE AT A 4" X 4" CONCRETE MONUMENT STAMPED "LS 1943" STANDING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 19, AND RUN THENCE ALONG THE NORTH LINE THEREOF N-89°55'35"-E, 1617.81 FEET; THENCE DEPARTING SAID NORTH LINE, S-00°04'27"-E, 1300.51 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S-00°04'27"-E, AND ALONG A NON-RADIAL LINE, 366.21 FEET TO A 4" X 4" CONCRETE MONUMENT WITH NO IDENTIFICATION STANDING ON THE EASTERLY RIGHT-OF-WAY OF OLD POLK CITY ROAD (STATE ROAD S-17) PER OFFICIAL RECORDS BOOK 1164, PAGE 498, PUBLIC RECORDS OF POLK COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVE CONCAVE NORTHEASTERLY; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES: 1) NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 1095.92 FEET, A CENTRAL ANGLE/Delta OF 00°37'28", A CHORD BEARING OF N-67°52'05"-W, A CHORD DISTANCE OF 11.95 FEET, FOR AN ARC LENGTH OF 11.95 FEET; THENCE 2) ALONG A RADIAL LINE S-22°26'39"-W, 10.00 FEET TO A POINT OF CURVE CONCAVE NORTHEASTERLY; THENCE 3) NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 1105.92 FEET, A CENTRAL ANGLE/Delta OF 12°26'50", A CHORD BEARING OF N-61°19'56"-W, A CHORD DISTANCE OF 239.78 FEET, FOR AN ARC LENGTH OF 240.25 FEET; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY, AND ALONG A NON-RADIAL LINE, N-41°17'42"-E, 340.63 FEET TO THE **POINT OF BEGINNING**.



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AND ALL BEING FURTHER DESCRIBED AS:

COMMENCE AT A 4" X 4" CONCRETE MONUMENT STAMPED "LS 1943" STANDING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 27 SOUTH, RANGE 27 EAST, POLK COUNTY, FLORIDA, AND RUN THENCE ALONG THE WEST BOUNDARY OF SAID SECTION 19, S-00°02'13"-91.40 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" STANDING AT THE INTERSECTION OF SAID WEST BOUNDARY AND THE NORTH EASTERLY RIGHT-OF-WAY OF OLD POLK CITY ROAD (STATE ROADS-17) ACCORDING TO THAT DOCUMENT RECORDED IN OFFICIAL RECORDS BOOK 1164, PAGE 498, PUBLIC RECORDS OF POLK COUNTY, FLORIDA, SAID INTERSECTION POINT IS ALSO THE POINT OF BEGINNING; THENCE DEPARTING SAID WEST BOUNDARY AND SAID NORTH EASTERLY RIGHT-OF-WAY, S-88°19'34"-E, 872.41 FEET TO A 4" X 4" CONCRETE MONUMENT STAMPED "LS 1943"; THENCE N-00°04'25"-W, 118.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 19; THENCE ALONG SAID NORTH LINE N-89°55'35"-E, 745.86 FEET; THENCE DEPARTING SAID NORTH LINE, S-00°04'27"-E, 764.04 FEET; THENCE N-89°49'38"-W, 163.01 FEET; THENCE S-00°09'47"-W, 593.50 FEET; THENCE S-48°42'18"-E, 36.95 FEET; THENCE ALONG A NON-RADIAL LINE, S-41°17'42"-W, 193.47 FEET TO A POINT ON SAID NORTH EASTERLY RIGHT-OF-WAY OF OLD POLK CITY ROAD (STATE ROAD S-17), SAID POINT IS ALSO A POINT ON A CURVE CONCAVE NORTHEASTERLY; THENCE ALONG SAID NORTHEASTERLY RIGHT-OF-WAY, AND NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 1105.92 FEET, A CENTRAL ANGLE/Delta OF 09°35'00", A CHORD BEARING OF N-47°42'58"-W, A CHORD DISTANCE OF 184.76 FEET, FOR AN ARC LENGTH OF 184.98 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE CONTINUE ALONG SAID NORTH EASTERLY RIGHT-OF-WAY N-42°55'28"-W, 1787.64 FEET TO THE **POINT OF BEGINNING**.

AND

COMMENCE AT A 4"X4" CONCRETE MONUMENT WITH NO IDENTIFICATION STANDING AT THE SOUTHWEST CORNER OF SECTION 19, TOWNSHIP 27 SOUTH, RANGE 27 SOUTH, POLK COUNTY, FLORIDA AND RUN THENCE ALONG THE WEST BOUNDARY OF SAID SECTION 19, N-00°02'13"-W, 425.20 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126", SAID POINT ALSO BEING THE **POINT OF BEGINNING**; THENCE CONTINUE ALONG SAID WEST BOUNDARY, AND CONTINUING N-00°02'13"-W, 920.96 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126", SAID POINT IS HEREBY DESIGNATED AS **POINT "A"** TO BE USED HEREIN AFTER; THENCE CONTINUE ALONG SAID WEST BOUNDARY, AND CONTINUING N-00°02'13"-W, 60.32 FEET, MORE OR LESS, TO THE EDGE OF LAKE LOWRY; THENCE DEPARTING SAID WEST BOUNDARY, MEANDER NORTHWESTERLY ALONG THE EDGE OF LAKE LOWRY TO ITS INTERSECTION WITH A LINE THAT LIES 650 FEET WESTERLY OF AND PARALLEL WITH THE EASTERLY RIGHT-OF-WAY OF PRADO GRANDE ROAD, SAID POINT OF INTERSECTION LIES N-34°26'13"-E, AND 1518.68 FEET DISTANT FROM SAID **DESIGNATED POINT "A"**; THENCE DEPARTING SAID EDGE OF LAKE LOWRY, AND ALONG SAID PARALLEL LINE, N-00°04'27"-W, 214.62 FEET TO A POINT ON A CURVE CONCAVE SOUTHERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 842.42 FEET, A CENTRAL ANGLE/Delta OF 23°10'19", A CHORD BEARING OF S-79°15'00"-E, A CHORD DISTANCE OF 338.38 FEET, FOR AN ARC LENGTH OF 340.70 FEET TO A 5/8" IRON ROD STAMPED "LB 8126" AND A POINT OF CUSP/CURVE CONCAVE NORTHEASTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 513.86 FEET, A CENTRAL ANGLE/Delta OF 03°11'13", A CHORD BEARING OF N-07°06'30"-W, A CHORD DISTANCE OF 28.58 FEET, FOR AN ARC LENGTH OF 28.58 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" AND A POINT OF CUSP/CURVE CONCAVE SOUTHWESTERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 867.42 FEET, A CENTRAL ANGLE/Delta OF 01°52'53" A CHORD BEARING OF S-67°39'05"-E, A CHORD DISTANCE OF 28.48 FEET, FOR AN ARC LENGTH OF 28.48 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" AND A POINT OF CUSP/CURVE CONCAVE EASTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 488.86 FEET, A CENTRAL ANGLE/Delta OF 10°20'24", A CHORD BEARING OF N-01°54'19"-W, A CHORD DISTANCE OF 88.10 FEET, FOR AN ARC LENGTH OF 88.22 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" TO A POINT OF REVERSE CURVE CONCAVE SOUTHWESTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 514.89 FEET, A CHORD BEARING OF N-09°33'16"-W, A CHORD DISTANCE OF 228.48 FEET, FOR AN ARC LENGTH OF 230.40 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE N-05°39'15"-E, 424.44 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8132"; THENCE N-06°51'08"-W, 125.00 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE N-27°54'56"-W, 137.20 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE N-66°43'58"-E, 55.00 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE N-26°37'46"-W, 140.00 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE N-47°06'21"-E, 37.32 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" STANDING ON THE SOUTHWESTERLY RIGHT-OF-WAY OF OLD POLK CITY ROAD (STATE ROAD S-17) ACCORDING TO THAT DOCUMENT RECORDED IN OFFICIAL RECORDS BOOK 1164, PAGE 498, PUBLIC RECORDS OF POLK COUNTY, FLORIDA; THENCE ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY THE FOLLOWING FIVE (5) COURSES: 1) S-43°25'35"-E, 15.84 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 2) ALONG A NON-RADIAL LINE N-46°11'39"-E, 10.00 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126", SAID POINT IS ALSO A POINT OF CURVE CONCAVE NORTHEASTERLY; THENCE 3) SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 1185.92 FEET, A CENTRAL ANGLE/Delta OF 08°03'30", A CHORD BEARING OF S-47°50'06"-E, A CHORD DISTANCE OF 166.66 FEET FOR AN ARC LENGTH OF 166.79 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 4) S-42°53'42"-E, 110.24 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8132," SAID POINT IS ALSO A POINT OF CURVE CONCAVE SOUTHWESTERLY; THENCE 5) SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE/Delta OF 42°49'15", A CHORD BEARING OF S-21°29'05"-E, A CHORD DISTANCE OF 219.03 FEET, FOR AN ARC LENGTH OF 224.21 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" STANDING ON THE WESTERLY RIGHT OF WAY OF PRADO GRANDE ROAD; THENCE ALONG SAID WESTERLY RIGHT OF WAY THE FOLLOWING SIX (6) COURSES: THENCE 1) S-00°04'27"-E, 996.62 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 2) S-14°36'35"-W, 118.26 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 3) S-00°03'35"-W, 199.75 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 4) S-18°55'11"-E, 156.16 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 5) S-00°04'27"-E, 1946.53 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126", SAID POINT IS ALSO A POINT OF CURVE CONCAVE EASTERLY; THENCE 6) SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 145.00 FEET, A CENTRAL ANGLE/Delta OF 91°36'40", A CHORD BEARING OF S-45°52'47"-E, A CHORD DISTANCE OF 207.92 FEET, FOR AN ARC LENGTH OF 231.84 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" STANDING ON THE SOUTHERLY RIGHT-OF-WAY OF WEST JOHNSON AVENUE; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY THE FOLLOWING FIVE(5) COURSES: 1) N-88°18'53"-E, 493.84 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" SAID POINT IS ALSO A POINT OF CURVE CONCAVE SOUTHERLY;



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THENCE 2) SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE/Delta OF 27°49'07", A CHORD BEARING OF S-77°46'34"-E, A CHORD DISTANCE OF 36.06 FEET, FOR AN ARC LENGTH OF 36.41 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 3) S-63°52'00"-E, 68.61 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 4) S-00°16'21"-E, 60.00 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE 5) S-63°52'00"-E, 33.49 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY, S-00°16'19"-E, 408.82 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126" SAID POINT IS ALSO A POINT OF CURVE CONCAVE WESTERLY; THENCE SOUTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE/Delta OF 114°32'03", A CHORD BEARING OF S-56°59'53"-W, A CHORD DISTANCE OF 126.18 FEET, FOR AN ARC LENGTH OF 149.93 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126", THENCE N-65°43'55"-W, 1831.08 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126"; THENCE N-65°19'34"-W, 460.35 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126", THENCE N-00°02'13"-W, 72.98 FEET TO A 5/8" IRON ROD AND CAP STAMPED "LB 8126, SAID POINT IS ALSO A POINT ON A CURVE CONCAVE SOUTHWESTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 3133.46 FEET, A CENTRAL ANGLE/Delta OF 00°56'39", A CHORD BEARING OF N-75°36'08"-W, A CHORD DISTANCE OF 51.63 FEET, FOR AN ARC LENGTH OF 51.63 FEET TO THE POINT OF BEGINNING.

AND

MAP #4 272730-000000-031070

THAT PART OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 27 SOUTH, RANGE 27 EAST, POLK COUNTY, FLORIDA, LAYING NORTH OF AND WITHIN 30 FEET OF THE NORTHERLY RIGHT OF WAY BOUNDARY OF THE CSX RAILROAD.

AND

MAP #5 272719-742520000032

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 19, TOWNSHIP 27 SOUTH, RANGE 27 EAST, POLK COUNTY, FLORIDA AND RUN N00°02'56"W, ALONG THE WEST BOUNDARY OF SAID SECTION 19, 280.75 FEET TO THE **POINT OF BEGINNING**, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY BOUNDARY OF THE CSX RAILROAD RIGHT OF WAY; THENCE CONTINUE N00°02'56"W ALONG SAID WEST BOUNDARY, 81.65 FEET; THENCE S65°19'34"E, 515.47 FEET; THENCE S65°43'55"E, PARALLEL WITH, AND 30 FEET NORTHERLY OF SAID RAILROAD RIGHT OF WAY, 1831.08 FEET TO THE BEGINNING OF A CURVE CONCAVED NORTHWESTERLY, HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 114°32'24", A CHORD BEARING OF N56°59'53"E, AND A CHORD DISTANCE OF 126.18 FEET; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 149.93 FEET TO THE END OF SAID CURVE; THENCE N00°16'19"W, 408.82 FEET; THENCE N63°52'00"W, 33.49 FEET; THENCE N00°16'21 "W, 60.00 FEET TO THE SOUTHERLY RIGHT OF WAY BOUNDARY OF JOHNSON AVENUE; THENCE S63°52'00"E, ALONG SAID RIGHT OF WAY BOUNDARY, 66.99 FEET; THENCE S00°16'19"E, ALONG THE WEST BOUNDARY OF LAKE HESTER ESTATES SUBDIVISION, AND THE SOUTHERLY PROJECTION OF THAT WEST BOUNDARY, 617.29 FEET TO ITS INTERSECTION WITH THE AFOREMENTIONED NORTHERLY RIGHT OF WAY OF THE CSX RAILROAD; THENCE N65°43'55"W ALONG SAID RIGHT OF WAY, 1994.45 FEET TO THE BEGINNING OF A CURVE CONCAVED SOUTHWESTERLY, HAVING A RADIUS OF 2869.35 FEET, A CENTRAL ANGLE OF 09°40'02", A CHORD BEARING OF N70°34'01 "W, AND A CHORD DISTANCE OF 483.55 FEET; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 484.13 FEET TO THE POINT OF BEGINNING.

AND

Map #6 262724-000000-022010

THE SOUTH ½ OF THE SOUTHEAST ¼ OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, LYING NORTH OF THE ATLANTIC COAST LINE RAILROAD AND OLD FLORIDA STATE ROAD #17, BEING MORE PARTICULARLY DESCRIBED AS:

BEGIN AT THE NORTHEAST CORNER OF THE SOUTH ½ OF THE SOUTHEAST ¼ OF SAID SECTION 24, AND RUN THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SOUTHEAST ¼, TO A POINT ON THE NORTHERLY LINE OF THE CSX RAILROAD (FORMERLY KNOWN AS ATLANTIC COASTLINE RAILROAD), PER MAP Y-3 FLA-47; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY LINE, TO A POINT ON THE SOUTH LINE OF SAID SOUTHEAST ¼; THENCE ALONG SAID SOUTH LINE, TO THE SOUTHWEST CORNER OF SAID SOUTHEAST ¼, THENCE ALONG THE WEST LINE OF SAID SOUTHEAST ¼, TO THE NORTHWEST CORNER OF THE SOUTH ½ OF SAID SOUTHEAST ¼; THENCE ALONG THE NORTH LINE OF THE SOUTH ½ OF SAID SOUTHEAST ¼ TO THE POINT OF BEGINNING.

AND

Map #7-9 262725-000000-031010, 262725-000000-033030, AND 262725-000000-033040

THE NORTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, **LESS** THAT PART LYING NORTH OF THE RAILROAD, AND **LESS** ROAD RIGHT-OF-WAY.

AND THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, LYING SOUTH OF OLD STATE ROAD NO. 37.

THE WEST 555 FEET OF THE NORTH 264 FEET OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA.

THE EAST 105 FEET OF THE WEST ½ OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, LYING NORTH OF US HIGHWAY 17, A/K/A HIGHWAY 92.

AND

ALL THAT PARCEL OF LAND SITUATE SOUTH OF OLD HAINES CITY/LAKE ALFRED HIGHWAY IN THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST; **AND** ALSO SOMETIMES DESCRIBED AS THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF THE NORTHWEST ¼, SOUTH OF THE RAILROAD AND SOUTH OF OLD ROAD IN SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST, ALL LYING AND BEING IN POLK COUNTY, FLORIDA.



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ALL BEING FURTHER DESCRIBED AS:

BEGIN AT THE INTERSECTION OF THE WEST LINE OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 25, AND THE SOUTHERLY LINE OF OLD STATE ROAD NO. 37 (ALSO KNOWN AS OLD HAINES CITY/LAKE ALFRED HIGHWAY), AND RUN THENCE NORTHEASTERLY ALONG THE SOUTHERLY LINE OF SAID OLD STATE ROAD NO. 37, TO A POINT ON THE NORTH LINE OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 25; THENCE DEPARTING SAID SOUTHERLY LINE OF OLD STATE ROAD NO. 37, AND EASTERLY ALONG SAID NORTH LINE, TO A POINT ON THE EAST LINE OF THE SOUTHEAST 1/4, OF THE NORTHWEST ¼, OF THE NORTHWEST ¼ OF SAID SECTION 25; THENCE NORTHERLY ALONG SAID EAST LINE, TO A POINT ON THE SOUTHERLY LINE OF SAID OLD STATE ROAD NO. 37; THENCE NORTHEASTERLY ALONG THE SOUTHERLY LINE OF OLD STATE ROAD NO. 37, TO ITS INTERSECTION WITH THE WEST LINE OF FLETCHER TRAILER PARK ROAD, PER MAP BOOK 1, PAGE 121 OF THE PUBLIC RECORDS OF POLK COUNTY, FLORIDA; THENCE DEPARTING THE SOUTHERLY LINE OF SAID OLD STATE ROAD NO. 37, AND SOUTHERLY ALONG THE WEST LINE OF SAID FLETCHER TRAILER PARK ROAD, TO ITS INTERSECTION WITH THE NORTH LINE OF RICHARDSON ROAD, PER MAP BOOK 7, PAGE 15 PUBLIC RECORDS OF POLK COUNTY, FLORIDA; THENCE WESTERLY ALONG SAID NORTH LINE OF RICHARDSON ROAD, TO THE WEST LINE OF SAID RICHARDSON ROAD; THENCE SOUTHERLY ALONG SAID WEST LINE OF RICHARDSON ROAD, TO ITS INTERSECTION WITH THE SOUTH LINE OF THE NORTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 25; THENCE WESTERLY ALONG SAID SOUTH LINE, AND ALONG THE SOUTH LINE OF THE NORTHWEST ¼, OF THE NORTHWEST ¼ OF SAID SECTION 25, TO A POINT ON THE EAST LINE OF THE WEST ½ OF THE SOUTHWEST 1/4, OF THE NORTHWEST ¼ OF SAID SECTION 25; THENCE SOUTHERLY ALONG SAID EAST LINE, TO A POINT ON THE NORTHERLY LINE OF U.S. HIGHWAY 17 AND 92; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY LINE, TO ITS INTERSECTION WITH THE WEST LINE OF THE EAST 105 FEET OF THE WEST ½, OF THE SOUTHWEST ¼, OF THE NORTHWEST ¼ OF SAID SECTION 25; THENCE NORTHERLY ALONG SAID WEST LINE, TO ITS INTERSECTION WITH THE SOUTH LINE OF THE WEST 555 FEET, OF THE NORTH 264 FEET OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 25; THENCE WESTERLY ALONG SAID SOUTH LINE, TO A POINT ON THE WEST LINE OF THE SOUTHWEST ¼, OF THE NORTHWEST ¼, OF THE NORTHWEST ¼, OF SAID SECTION 25; THENCE NORTHERLY ALONG SAID WEST LINE TO THE POINT OF BEGINNING.

AND

MAP #10 262725-000000-031030

THAT PART OF THE NORTHEAST ¼ OF THE NORTHWEST ¼, LYING NORTH OF THE RAILROAD IN SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA.

AND

MAP #11 262725-000000-033010

ALL THAT PART OR PARCEL OF LAND SITUATE IN THE NORTHWEST ¼ OF THE NORTHWEST ¼ NORTH OF THE RIGHT-OF-WAY OF THE CSX RAILROAD, IN SECTION 25, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA.

AND

MAP #12 262724-000000-042010

THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, PUBLIC RECORDS OF POLK COUNTY, FLORIDA;

LESS AND EXCEPT THAT PORTION CONVEYED BY DEED RECORDED IN OFFICIAL RECORDS BOOK 1148, PAGE 198, AND QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 2025, PAGE 270 DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, THENCE SOUTH 00°00'44" WEST, 335.61 FEET FOR A **POINT OF BEGINNING**; THENCE CONTINUE SOUTH 00°00'44" WEST, 415.61 FEET; THENCE SOUTH 89°52'10" WEST, 495.75 FEET; THENCE NORTH 00°00'44" EAST, 30.0 FEET; THENCE SOUTH 89°52'10" WEST 20.0 FEET MORE OR LESS TO THE EASTERLY WATER'S EDGE OF A CANAL; THENCE NORTHWESTERLY ALONG SAID CANAL 309.35 FEET MORE OR LESS; THENCE NORTH 00°01'34" WEST, 142.3 FEET; THENCE NORTH 89°50'58" EAST, 661.67 FEET TO THE **POINT OF BEGINNING**; LESS THE EAST 15.0 FEET AND THE SOUTH 30.0 FEET THEREOF FOR ROAD EASEMENT AND A 30.0 FOOT ROAD EASEMENT ALONG THE SOUTHWESTERLY SIDE AS FOLLOWS: BEGIN AT THE NORTHWEST CORNER OF THE ABOVE DESCRIBED PROPERTY; THENCE SOUTH 00°01'34" EAST, 126.3 FEET FOR A **POINT OF BEGINNING**; THENCE SOUTH 33°18'00" EAST, 309.35 FEET; THENCE SOUTH 00°00'44" WEST, 30.0 FEET; THENCE NORTH 89°52'10" EAST, 34.01 FEET; THENCE NORTH 00°00'44" EAST, 30.0 FEET; THENCE NORTH 33°18'00" WEST, 331.07 FEET; THENCE NORTH 34°46'30" WEST, 43.16 FEET; THENCE SOUTH 00°01'34" EAST, 52.56 FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT THAT PORTION CONVEYED BY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1427, PAGE 326 AND QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 2025, PAGE 270 DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA; RUN THENCE SOUTH 89°49'45" WEST ALONG THE NORTH BOUNDARY OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 A DISTANCE OF 1323.78 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE RUN SOUTH 00°00'44" WEST ALONG THE WEST BOUNDARY OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 A DISTANCE OF 721.20 FEET; THENCE NORTH 75°46'14" EAST A DISTANCE OF 506.5 FEET; THENCE SOUTH 89°52'46" EAST A DISTANCE OF 500.6 FEET; THENCE SOUTH 80°13'46" EAST A DISTANCE OF 336.22 FEET TO A POINT LOCATED ON THE EAST BOUNDARY OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE RUN NORTH 00°05'20" EAST ALONG THE EAST BOUNDARY OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 A DISTANCE OF 658.78 FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT THAT PORTION CONVEYED BY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1195, PAGE 928 DESCRIBED AS FOLLOWS:

START AT THE CONCRETE MARKER IN THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, THENCE IN AN EASTERLY DIRECTION 661.90 FEET TO A MARKER; THENCE SOUTH 251.92 FEET FOR A **POINT OF BEGINNING**; THENCE SOUTH 59°00'00" TO THE EDGE OF THE CANAL; THENCE IN A NORTHWESTERLY DIRECTION ALONG EDGE OF THE CANAL; THENCE IN A NORTHWESTERLY DIRECTION ALONG THE EDGE OF THE CANAL, FOLLOWING THE CANAL AS IT MAKES A TURN TO AN EASTERLY DIRECTION ALONG EDGE OF CANAL BACK TO THE LINE THAT INTERSECTS THE AFORE SET FORTH SOUTHERLY DIRECTION LINE OF 251.92 FEET; THENCE PROCEED SOUTHERLY ALONG SAID LINE TO **POINT OF BEGINNING**.

AND LESS AND EXCEPT THAT PORTION CONVEYED BY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1195, PAGE 931 DESCRIBED AS FOLLOWS:

TRACT D: THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, **LESS** THE EAST 15.0 FEET THEREOF FOR ROAD RIGHT-OF-WAY; AND AN EASEMENT FOR INGRESS AND EGRESS OVER THE FOLLOWING DESCRIBED PROPERTY: **BEGIN** AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, THENCE SOUTH 00°00'44" WEST, 335.61 FEET FOR A **POINT OF BEGINNING**; THENCE SOUTH 89°50'58" WEST, 15.0 FEET; THENCE SOUTH 00°00'44" WEST, 385.61 FEET; THENCE SOUTH 89°52'10" WEST, 446.75 FEET; THENCE SOUTH 00°00'44" WEST, 30.0 FEET; THENCE NORTH 89°52'10" EAST, 461.75 FEET; THENCE NORTH 00°00'44" EAST, 415.61 FEET TO THE **POINT OF BEGINNING**; AND AN EASEMENT FOR INGRESS AND EGRESS TO THE WEST SIDE OF PROPERTY OVER THE FOLLOWING DESCRIBED PROPERTY: **BEGIN** AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, THENCE NORTH 89°49'45" EAST, 661.90 FEET; THENCE SOUTH 00°01'34" EAST, 251.92 FEET FOR A **POINT OF BEGINNING**; THENCE SOUTH 57°00'00" WEST, 119.99 FEET; THENCE SOUTH 34°46'30" EAST, 176.4 FEET; THENCE SOUTH 33°18'00" EAST, 309.35 FEET; THENCE SOUTH 00°00'44" EAST, 30.0 FEET; THENCE NORTH 89°52'10" EAST, 34.01 FEET; THENCE NORTH 00°00'44" EAST, 30.0 FEET; THENCE NORTH 33°18'00" WEST, 331.07 FEET; THENCE NORTH 34°46'30" WEST, 147.75 FEET; THENCE NORTH 57°00'00" EAST, 68.85 FEET; THENCE NORTH 00°01'34" WEST, 34.0 FEET TO THE **POINT OF BEGINNING**.

AND

MAP #13 262724-000000-042020

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, RUN THENCE SOUTH 89°49'45" WEST ALONG THE NORTH BOUNDARY OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4 A DISTANCE OF 1323.78 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4; THENCE RUN SOUTH 00°00'44" WEST ALONG THE WEST BOUNDARY OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4 A DISTANCE OF 721.20 FEET; THENCE NORTH 75°46'14" EAST A DISTANCE OF 506.5 FEET; THENCE SOUTH 89°52'46" EAST, A DISTANCE OF 500.6 FEET; THENCE SOUTH 80°13'46" EAST A DISTANCE OF 336.22 FEET TO A POINT LOCATED ON THE EAST BOUNDARY OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4; THENCE RUN NORTH 00°05'20" EAST ALONG THE EAST BOUNDARY OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4 A DISTANCE OF 658.78 FEET TO THE **POINT OF BEGINNING**.

AND

MAP #14 262724-000000-044010

BEGIN AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, THENCE SOUTH 00°00'44" WEST 335.61 FEET FOR A **POINT OF BEGINNING**; THENCE CONTINUE SOUTH 00°00'44" WEST 415.61 FEET; THENCE SOUTH 89°52'10" WEST 495.75 FEET, THENCE NORTH 00°00'44" EAST 30.00 FEET, THENCE SOUTH 89°52'10" WEST 20.00 FEET (+ OR -) TO THE EASTERLY WATER'S EDGE OF A CANAL, THENCE NORTHWESTERLY ALONG SAID CANAL 309.35 FEET (+ OR -), THENCE NORTH 00°01'34" WEST 142.3 FEET, THENCE NORTH 89°50'58" EAST, 661.67 FEET TO THE **POINT OF BEGINNING**.

AND

MAP #15 262724-000000-043030

TRACT D: THE NORTH 1/2 OF THE NE 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, **LESS** THE EAST 15.0 FEET THEREOF FOR ROAD RIGHT-OF-WAY; AND

TRACT D-1: THE EAST 474.0 FEET OF THE SOUTH 1/4 OF THE NW 1/4 OF THE SW 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, **LESS** THE EAST 15.0 FEET THEREOF FOR ROAD RIGHT-OF-WAY; AND

START AT THE CONCRETE MARKER IN THE NORTHWEST CORNER OF THE SW 1/4 OF THE SW 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, THENCE IN AN EASTERLY DIRECTION 661.90 FEET TO A MARKER; THENCE SOUTH 251.92 FEET FOR A **POINT OF BEGINNING**; THENCE S 59 DEG. 0'00" WEST, TO THE EDGE OF A CANAL; THENCE IN A NORTHWESTERLY DIRECTION ALONG EDGE OF CANAL, FOLLOWING THE CANAL AS IT MAKES A TURN TO AN EASTERLY DIRECTION ALONG EDGE OF CANAL BACK TO A LINE THAT INTERSECTS THE AFORESAID SET FORTH SOUTHERLY DIRECTION LINE OF 251.92 FEET; THENCE PROCEED SOUTHERLY ALONG SAID LINE TO THE **POINT OF BEGINNING**, ALL IN PARCEL G AS SET FORTH IN A SURVEY AS RECORDED IN OFFICIAL RECORDS BOOK 1195, PAGE 929.



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CERTIFICATE OF AUTHORIZATION NO. 30124

EXHIBIT 2
HAMMOCK RESERVE CDD
LEGAL DESCRIPTION OF DISTRICT AS AMENDED

AND

MAP #16 262724-000000-043020

THE SOUTH 1/4 OF THE NW 1/4 OF THE SW 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, **LESS** THE EAST 474 FEET.

AND

BEGIN AT THE SW CORNER OF THE NW 1/4 OF THE SW 1/4 OF SAID SECTION 24, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, THENCE RUN NORTH 00°03'53" WEST, 336.25 FEET FOR THE **POINT OF BEGINNING**, THENCE CONTINUE NORTH 00°03'53" WEST 143.28 FEET TO THE EASTERLY WATER'S EDGE OF A CANAL, THENCE SOUTHEASTERLY ALONG SAID WATER'S EDGE TO A POINT NORTH 89°48'32" EAST, 90.00 FEET FROM THE **POINT OF BEGINNING**, THENCE SOUTH 89°48'32" WEST 90.00 FEET TO THE **POINT OF BEGINNING**.

AND

MAP #17 262723-000000-021020

BEGIN SOUTHEAST CORNER OF NORTHEAST ¼ OF SOUTHEAST ¼ RUN NORTH 480.53 FEET TO EASTERLY EDGE OF CANAL FOR POINT OF BEGINNING CONTINUE NORTH 465.2 FEET TO LAKE LOWERY SOUTHWESTERLY ALONG LAKE TO PT NORTH 33 DEGREE 41 MINUTES W 370.82 FEET FROM POINT OF BEGINNING SOUTH 33 DEGREE 41 MINUTES EAST 370.82 FEET TO **POINT OF BEGINNING**.

AND

MAP #18 262723-000000-021010

THE EAST 1/2 OF THE SE 1/4 OF SECTION 23, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, **LESS AND EXCEPT** THE FOLLOWING:

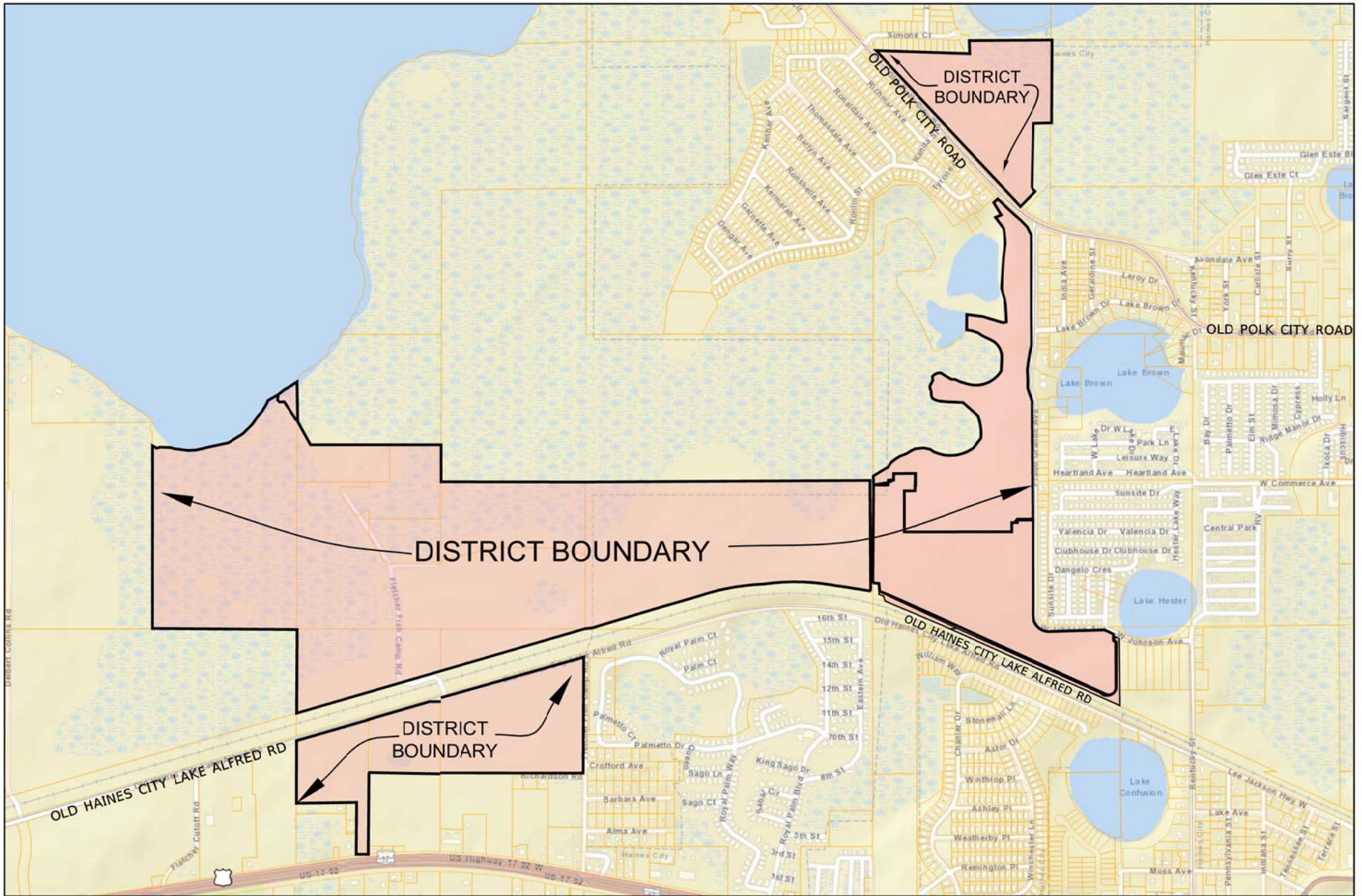
BEGIN AT THE SE CORNER OF THE NE 1/4 OF THE SE 1/4 OF SECTION 23, TOWNSHIP 27 SOUTH, RANGE 26 EAST, THENCE NORTH 00°03'53" WEST 480.53 FEET TO THE EASTERLY WATER'S EDGE OF A CANAL FOR A **POINT OF BEGINNING**, THENCE CONTINUE NORTH 00°03'53" WEST 465.20 FEET TO THE WATER'S EDGE OF LAKE LOWERY, THENCE SOUTHWESTERLY ALONG SAID WATER'S EDGE TO A POINT NORTH 33°41'00" WEST 370.82 FEET FROM THE **POINT OF BEGINNING**, THENCE SOUTH 33°41'00" EAST 370.82 FEET TO THE **POINT OF BEGINNING**, BEING PART OF THE NE 1/4 OF THE SE 1/4 OF SECTION 23, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA.

TOTAL CDD CONTAINS 393.19 ACRES +/-.



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**EXHIBIT 2
HAMMOCK RESERVE CDD
LEGAL DESCRIPTION OF DISTRICT AS AMENDED**



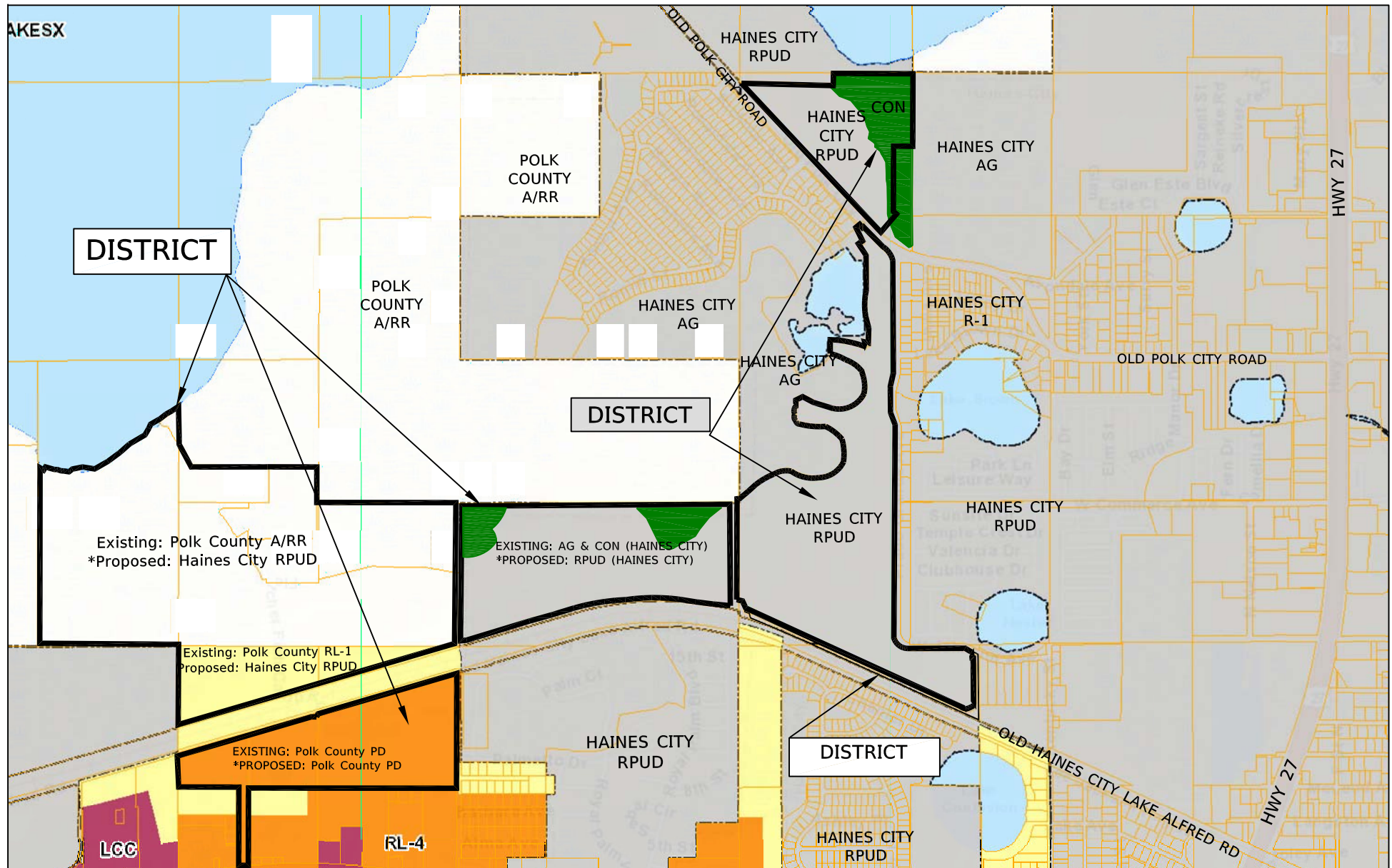
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LEGEND

HAMMOCK RESERVE CDD

**EXHIBIT 3 - DISTRICT BOUNDARY MAP
 HAMMOCK RESERVE
 COMMUNITY DEVELOPMENT DISTRICT**





DISTRICT

DISTRICT

DISTRICT

Existing: Polk County A/RR
*Proposed: Haines City RPUD

EXISTING: AG & CON (HAINES CITY)
*PROPOSED: RPUD (HAINES CITY)

Existing: Polk County RL-1
Proposed: Haines City RPUD

EXISTING: Polk County PD
*PROPOSED: Polk County PD

LEGEND

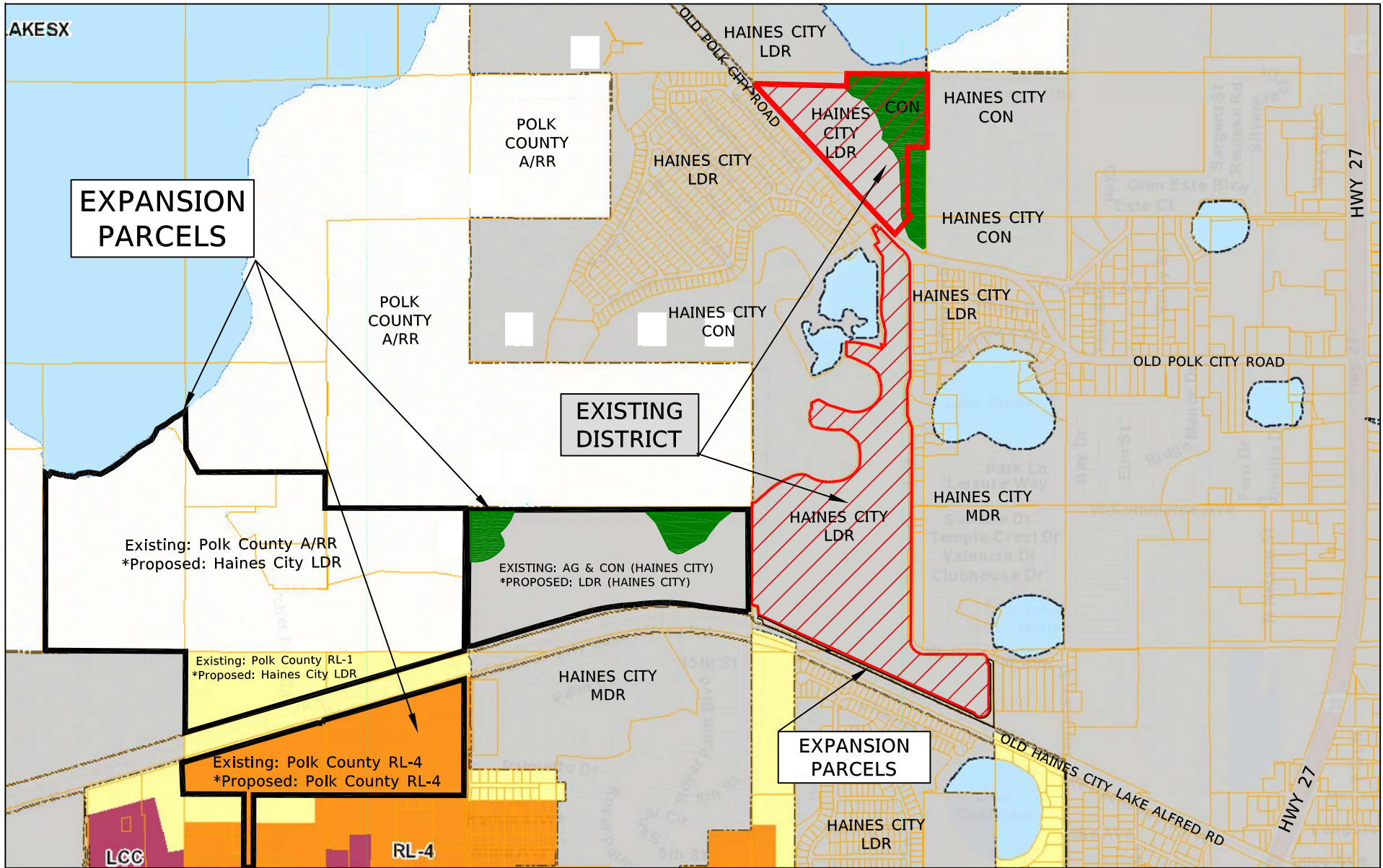
- CITY OF HAINES CITY
- CON - HAINES CITY CONSERVATION
- RL-4 - POLK COUNTY RESIDENTIAL LOW
- AG - AGRICULTURE
- RPUD - RESIDENTIAL PLANNED UNIT DEVELOPMENT

**COMPOSITE EXHIBIT 4 - ZONING MAP
HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**



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*TO BE ANNEXED INTO CITY OF HAINES CITY



EXPANSION PARCELS

EXISTING DISTRICT

EXPANSION PARCELS

Existing: Polk County A/RR
*Proposed: Haines City LDR

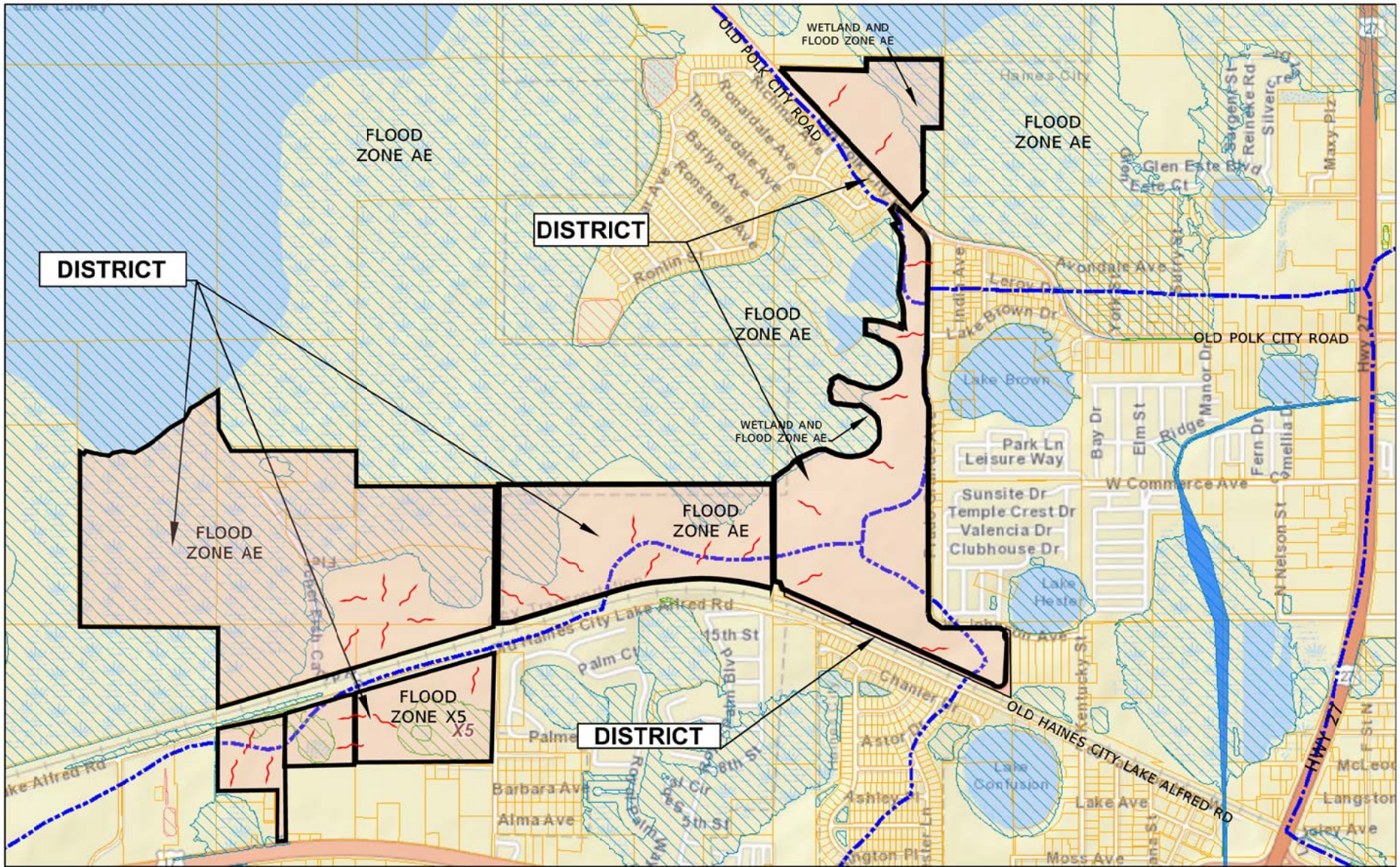
EXISTING: AG & CON (HAINES CITY)
*PROPOSED: LDR (HAINES CITY)

Existing: Polk County RL-1
*Proposed: Haines City LDR

Existing: Polk County RL-4
*Proposed: Polk County RL-4

- LEGEND**
- CITY OF HAINES CITY
 - LDR - HAINES CITY LOW DENSITY RESIDENTIAL
 - AG - AGRICULTURE
 - CON - HAINES CITY CONSERVATION
 - RL-4 - POLK COUNTY RESIDENTIAL LOW
 - RL-1 - POLK COUNTY RESIDENTIAL LOW
 - A/RR - POLK COUNTY AGRICULTURE/RESIDENTIAL RURAL
- *TO BE ANNEXED INTO CITY OF HAINES CITY

COMPOSITE EXHIBIT 5 - FUTURE LAND USE MAP
HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT

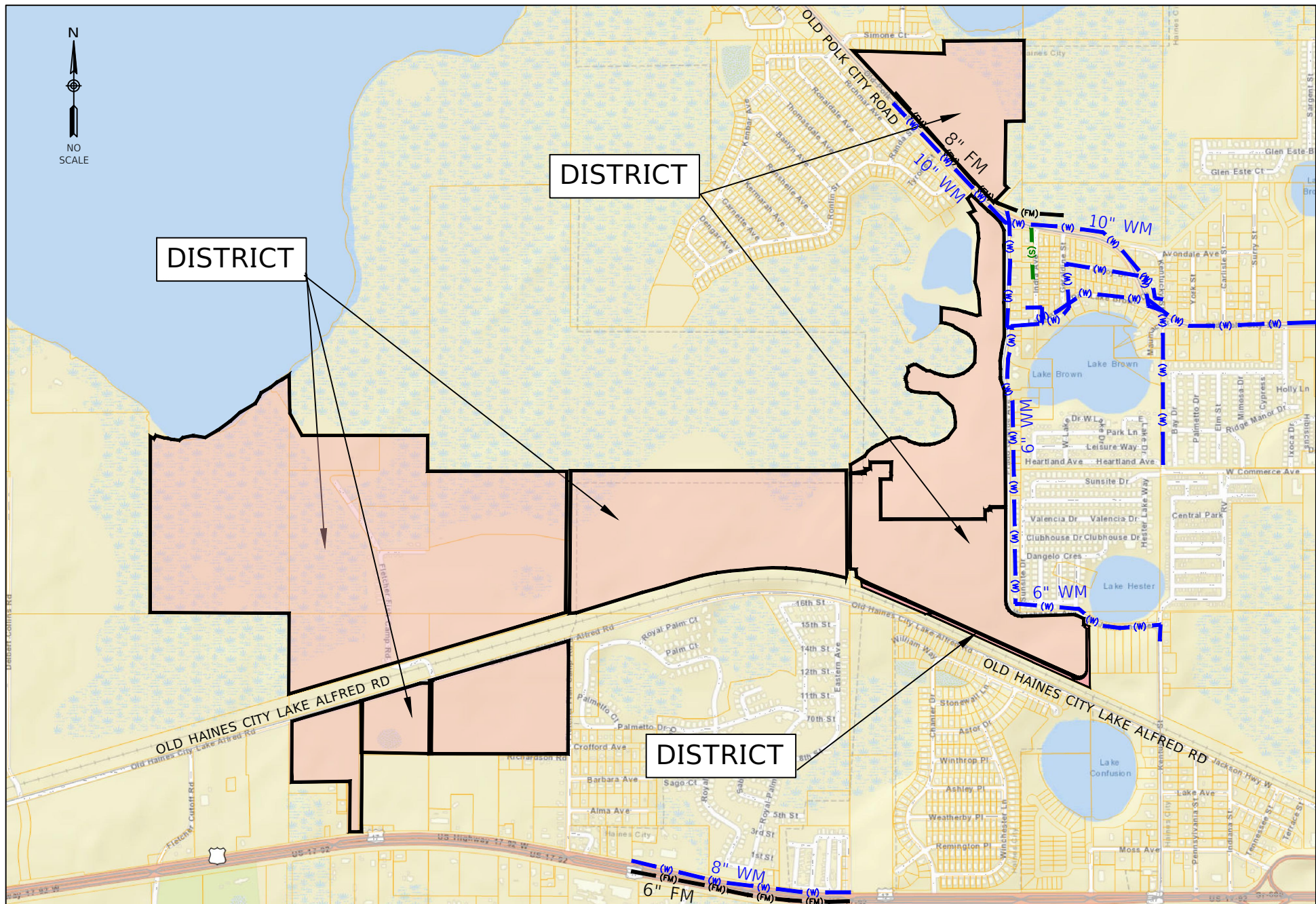





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LEGEND
 ——— FLOW DIRECTION
 - - - - DRAINAGE BASIN

**COMPOSITE EXHIBIT 6 - DRAINAGE MAP
 HAMMOCK RESERVE
 COMMUNITY DEVELOPMENT DISTRICT**





LEGEND	
	WATER MAIN
	GRAVITY SEWER MAIN
	FORCE MAIN

**COMPOSITE EXHIBIT 6- EXISTING UTILITIES
HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

**Composite Exhibit 7
Hammock Reserve
Community Development District
Summary of Probable Cost**

Infrastructure ⁽¹⁾⁽⁹⁾⁽¹⁰⁾	Phase 1 -Existing (231 Lots)⁽¹¹⁾ 2019-2021	Phase 2 - Existing (206 Lots)⁽¹²⁾ 2021-2023	Phase 3-Expansion (382 Lots)⁽¹³⁾ 2021-2023	Phase 4 -Expansion (209 lots)⁽¹⁴⁾ 2022-2025	Total (1028 Lots)
Offsite Improvements ⁽⁵⁾⁽⁶⁾	\$ 190,000.00	\$ 150,000.00	\$ 1,350,000.00	\$ 0.00	\$ 1,690,000.00
Stormwater Management ⁽²⁾⁽³⁾⁽⁵⁾⁽⁶⁾	\$2,100,000.00	\$ 510,000.00	\$ 1,990,000.00	\$ 1,400,000.00	\$ 6,000,000.00
Utilities (Water, Sewer, & Street Lighting) ^{(5)(6) (8)}	\$1,120,000.00	\$1,780,000.00	\$ 3,600,000.00	\$ 2,480,000.00	\$ 8,980,000.00
Roadway ⁽⁴⁾⁽⁵⁾⁽⁶⁾	\$ 790,000.00	\$1,380,000.00	\$ 1,550,000.00	\$ 1,000,000.00	\$ 4,720,000.00
Entry Feature and Landscaping ⁽⁶⁾⁽⁷⁾	\$ 568,000.00	\$ 300,000.00	\$ 320,000.00	\$ 300,000.00	\$ 1,488,000.00
Parks and Recreational Facilities ⁽¹⁾⁽⁶⁾	\$ 420,000.00	\$ 240,000.00	\$ 400,000.00	\$ 275,000.00	\$ 1,335,000.00
Contingency (10%)	\$ 470,000.00	\$ 436,000.00	\$ 921,000.00	\$ 545,500.00	\$ 2,372,500.00
TOTAL	\$5,658,000.00	\$4,796,000.00	\$10,131,000.00	\$6,000,500.00	\$26,585,500.00

Notes:

1. Infrastructure consists of offsite improvements, public roadway improvements, stormwater management facilities, master sanitary sewer lift station and utilities, entry feature, landscaping and signage, and parks and recreational facilities.
2. Excludes grading of each lot both for initial pad construction, lot finishing in conjunction with home construction, which will be provided by developer or homebuilder.
3. Includes stormwater pond excavation. Costs do not include transportation to or placement of fill on private property.
4. Includes sub-grade, base, asphalt paving, curbing, and civil/site engineering.
5. Includes subdivision infrastructure and civil/site engineering.
6. Phase 1 and 2 estimates are based on 2021 cost. Phase 3 and 4 estimates are based on 2022 costs.
7. Includes entry features, signage, hardscape, landscape, irrigation and buffer fencing.
8. CDD will enter into a Lighting Agreement with Duke Energy for the street light poles and lighting service. Only undergrounding of wire in public right-of-way and on District land is included.
9. Estimates based on Master Infrastructure to support development of 1028 lots.
10. All financed improvements will be on land owned by, or subject to a permanent easement for the benefit of the District or another government entity.
11. Phase 1: 231 - 50' wide lots
12. Phase 2: 206 - 50' wide lots
13. Phase 3: 229 - 40' wide lots and 153 - 50' wide lots
14. Phase 4: 209 - 50' wide lots

**Composite Exhibit 8
Hammock Reserve
Community Development District
Summary of Proposed District Facilities**

<u>District Infrastructure</u>	<u>Construction</u>	<u>Ownership</u>	<u>Capital Financing*</u>	<u>Operation and Maintenance</u>
Offsite Improvements	District	City/County	District Bonds	City/County
Stormwater Facilities	District	District	District Bonds	District
Lift Stations/Water/Sewer	District	City of Haines City	District Bonds	City of Haines City
Street Lighting/Conduit	District	**District	District Bonds	**District
Road Construction	District	District	District Bonds	District
Entry Feature & Signage	District	District	District Bonds	District
Parks and Recreational Facilities	District	District	District Bonds	District

*Costs not funded by bonds will be funded by the developer.

** Street lighting/conduit shall be owned and maintained by the District or the District shall enter into a lease with Duke Energy.

EXHIBIT 9 -OVERALL SITE PLAN HAMMOCK RESERVE PHASE 1 & 2

TRACT USAGE TABLE

- TRACTS A1, B AND C ARE BUFFERS AREAS / OPEN SPACE, AND WALL/FENCE/LANDSCAPE SIGN AREA, TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHEN IT IS FORMED.
- TRACTS K ARE OPEN SPACE AND RECREATION AREAS, TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHEN IT IS FORMED.
- TRACTS A, B1, B2, B3, J, L, AND M ARE OPEN SPACE, DRAINAGE AND DRAINAGE/RETENTION AREAS, TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHEN IT IS FORMED.

RECREATION AREA NOTES:

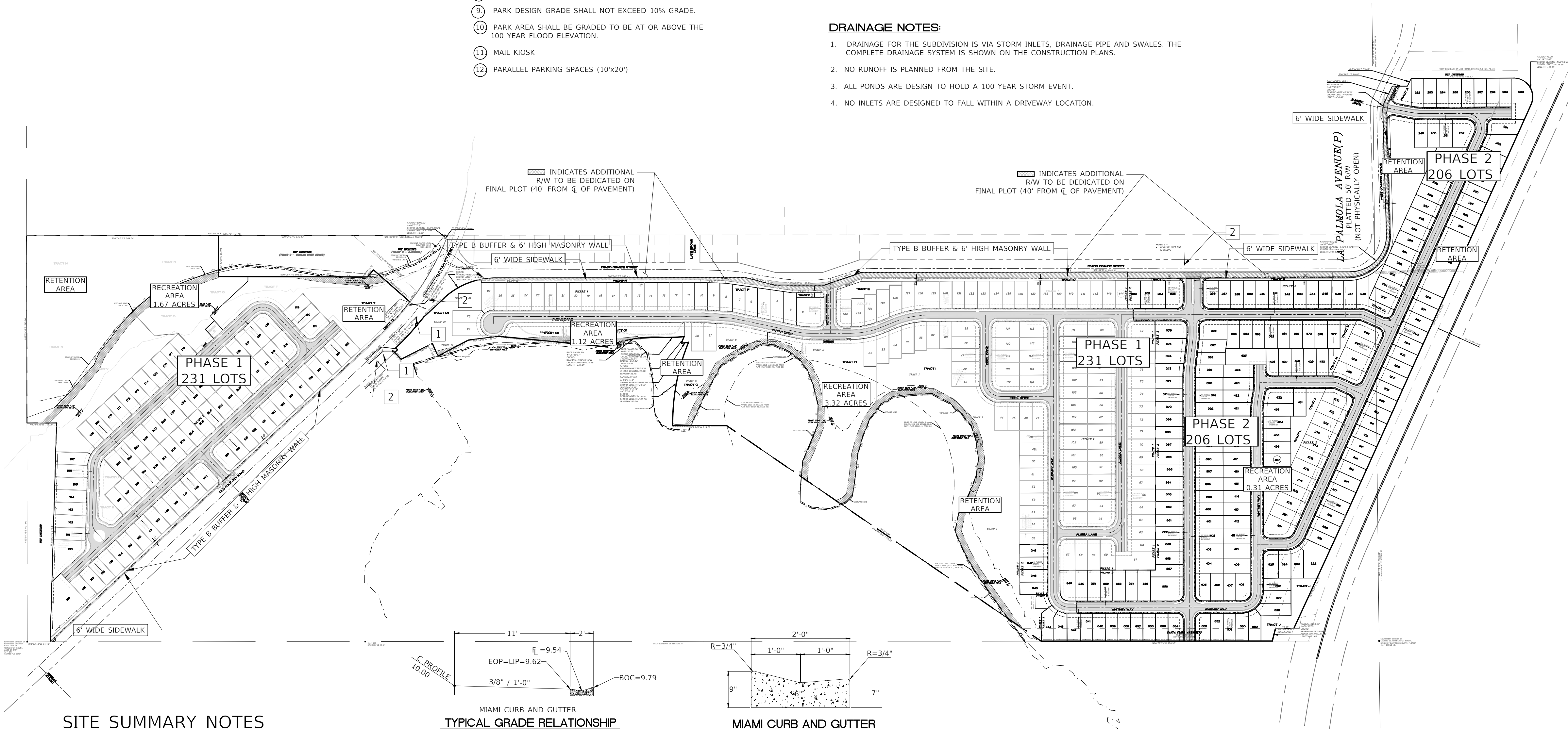
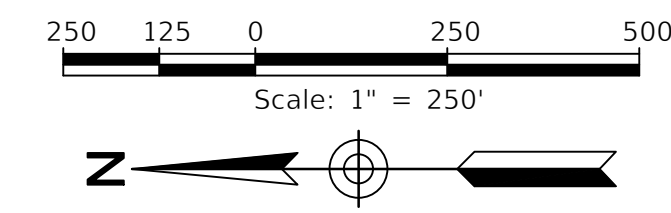
- TOT LOT PLAY STRUCTURE AREA
- SHADE CANOPY STRUCTURE (MIN 12'x12') & PICNIC TABLES
- PROVIDE 2" CALIPER LIVE OAK 8" HIGH AT PLANTING
- ENTIRE AREA TO BE SODDED AND IRRIGATED
- PROVIDE PARK BENCH
- WALKING TRAIL (MULCH OR COMPACTED RAP MATERIAL)
- PROVIDE A HUMAN/PET WATER STATION
- TRASH RECEPTACLE
- PARK DESIGN GRADE SHALL NOT EXCEED 10% GRADE.
- PARK AREA SHALL BE GRADED TO BE AT OR ABOVE THE 100 YEAR FLOOD ELEVATION.
- MAIL KIOSK
- PARALLEL PARKING SPACES (10'x20')

UTILITY CONNECTION NOTES

- FORCE MAINS FROM THE TWO LIFT STATION SHALL CONNECT TO THE EXISTING 8" FORCE MAIN ALONG OLD POLK CITY ROAD.
- INTERNAL WATER DISTRIBUTION SYSTEM SHALL CONNECT TO THE CITY WATER MAINS AT THE POINTS SHOWN.

DRAINAGE NOTES:

- DRAINAGE FOR THE SUBDIVISION IS VIA STORM INLETS, DRAINAGE PIPE AND SWALES. THE COMPLETE DRAINAGE SYSTEM IS SHOWN ON THE CONSTRUCTION PLANS.
- NO RUNOFF IS PLANNED FROM THE SITE.
- ALL PONDS ARE DESIGN TO HOLD A 100 YEAR STORM EVENT.
- NO INLETS ARE DESIGNED TO FALL WITHIN A DRIVEWAY LOCATION.



SITE SUMMARY NOTES

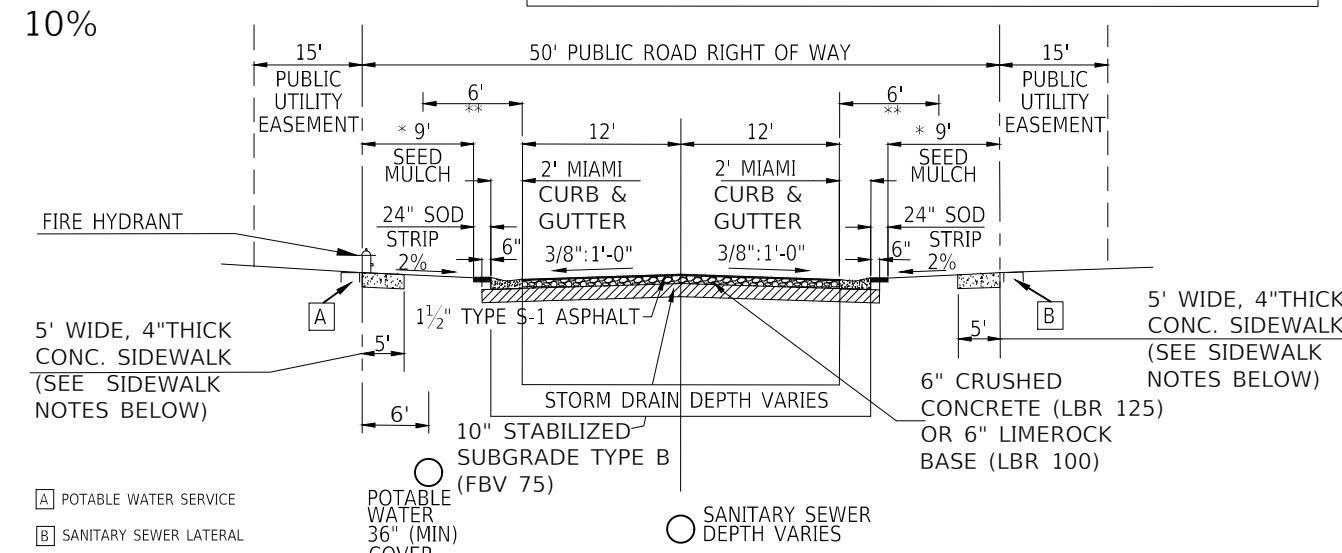
- MINIMUM LIVING AREA OF 1400 SF WITH 400 SF GARAGE ON 90% OF THE DWELLING UNITS.
- MINIMUM LIVING AREA OF 1250 SF WITH 400 SF GARAGE ON 10% OF THE DWELLING UNITS.
- MAXIMUM IMPERVIOUS AREA FOR THE LOTS IS 60%.

TYPICAL GRADE RELATIONSHIP

EOP = EDGE OF PAVEMENT
LIP = LIP OF GUTTER
FL = FLOW LINE OF GUTTER
BOC = BACK OF CURB

MIAMI CURB AND GUTTER

* AREA SHALL BE SODDED BY BUILDING CONTRACTOR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR HOMES. THE AREA SHALL BE SEEDED AND MULCHED BY THE ROAD CONTRACTOR.
** INDICATES 6' CLEAR RECOVERY ZONE.



MIAMI CURB AND GUTTER TYPICAL SECTION

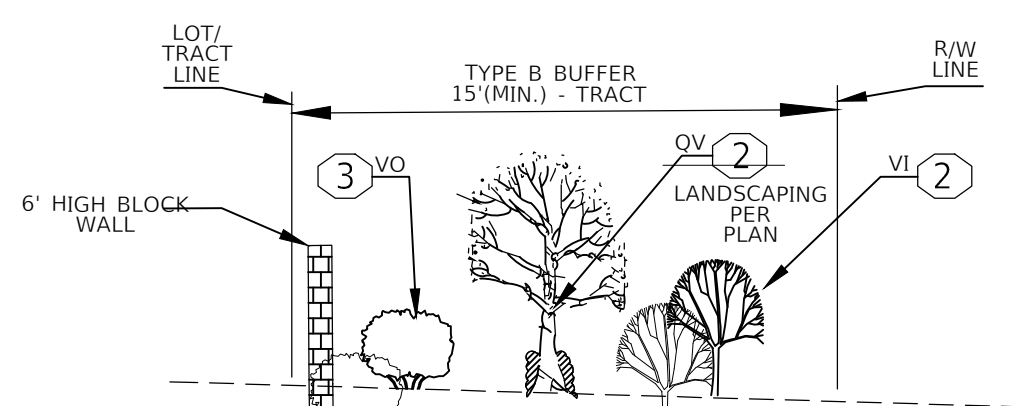
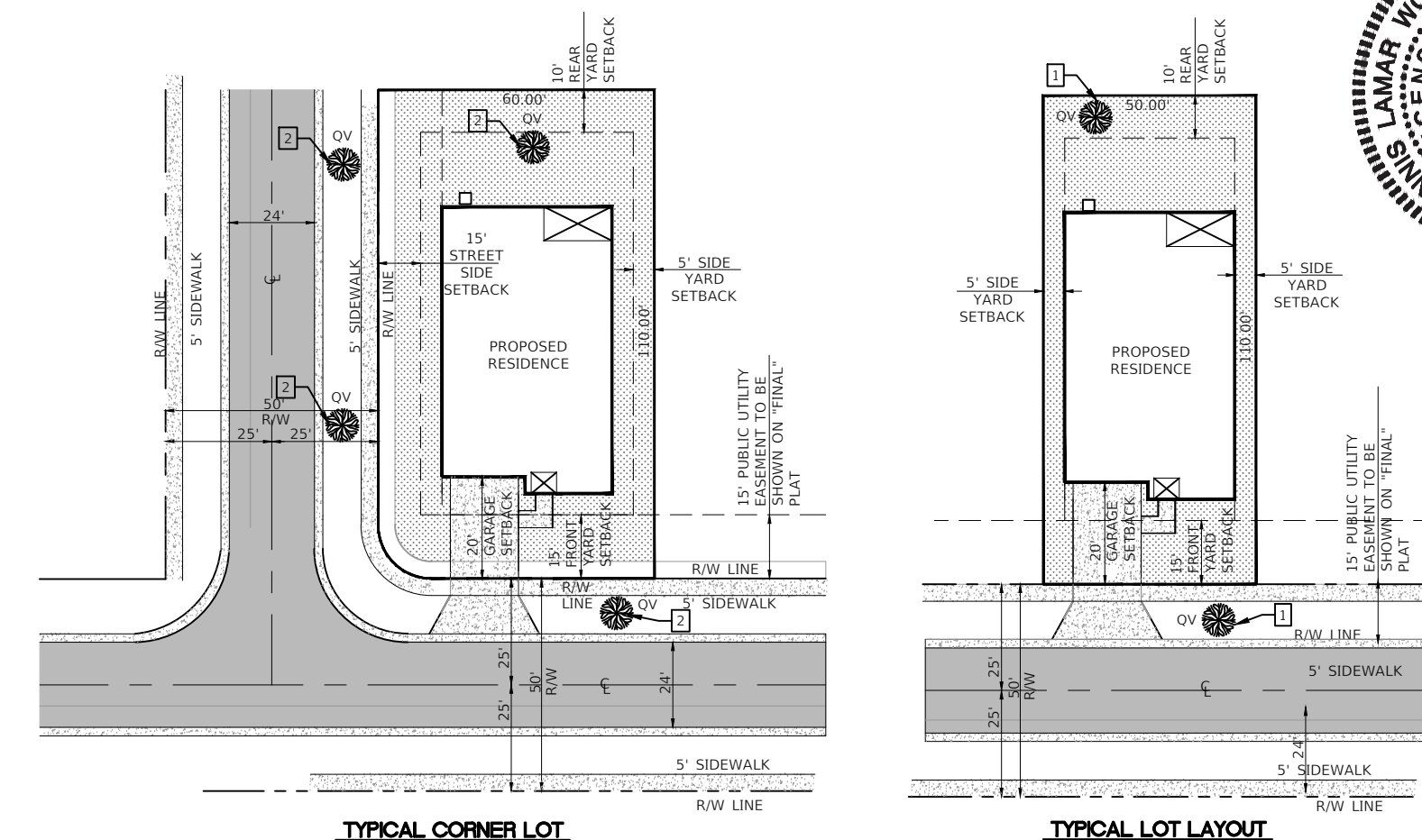
1 1/2" TYPE S-1 ASPHALT	= (1.50 x 0.44) 0.66
6" CRUSHED CONCRETE BASE (LBR 125) OR 6" LIMEROCK BASE (LBR 100)	= (6x0.15) 0.90
10" STABILIZED SUBGRADE TYPE B (FBV 75)	= (10x0.08) 0.80
STRUCTURAL NUMBER	=2.36

LANDSCAPE NOTES:

- THE HOME BUILDER IS RESPONSIBLE TO PLANT TWO (2) SHADE TREES (MINIMUM 8" HIGH AND 3" CALIPER) AT EACH INTERIOR LOT, ONE (1) OF WHICH SHALL ACT AS STREET TREE, AND BE PLACED BETWEEN SIDEWALK AND BACK OF MIAMI CURB AND GUTTER. ONE (1) TREE PLACED IN REAR YARD SETBACK.
- THE HOME BUILDER IS RESPONSIBLE TO PLANT FOUR (4) SHADE TREES (MINIMUM 8" HIGH AND 3" CALIPER) AT EACH CORNER LOT, THREE (3) OF WHICH SHALL ACT AS STREET TREES (FRONT AND SIDE), AND BE PLACED BETWEEN SIDEWALK AND BACK OF MIAMI CURB AND GUTTER. ONE (1) TREE PLACED IN REAR YARD SETBACK.
- WITHIN RIGHT-OF-WAY BUFFER THE FOLLOWING MINIMUM PLANTING SHALL BE PLANTED (TYPE 'B' BUFFER):
 - TWO (2) CANOPY TREES PER 100 L.F. (MIN. 8" HIGH AND 3" CALIPER).
 - FOUR (4) UNDER STORY TREES PER 100 FT. (MIN. 6" HIGH AND 2" CALIPER).
 - CONTINUOUS HEDGE (33 PLANTS PER 100 FT) 3" O.C. MINIMUM 2 FEET HIGH AT PLANTING.
- HEDGE AND TREE PLANTING AREAS SHALL BE WITHIN A 5' WIDE CYPRESS MULCH BED (MINIMUM 3" THICK). REMAINING AREA SHALL BE SODDED (ST. AUGUSTINE BAHIA - OR APPROVED EQUAL) WEED FREE, ROLLED AND FERTILIZED.
- ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND MANNER AND IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE FLORIDA NURSERYMEN'S MANUAL FOR ENVIRONMENTAL HORTICULTURE INDUSTRY.

ALL LANDSCAPING CARE, MAINTENANCE AND REPLACEMENT WITHIN ALL THE COMMON AREAS, ALL STREET TREES AND LANDSCAPE BUFFERS WILL BE THE RESPONSIBILITY OF THE COMMUNITY DEVELOPMENT DISTRICT AND THE HOME OWNERS ASSOCIATION.

LOTS PHASE 1 - (1-231) PHASE 2 - (232-437)



SECTION 1-1

CANOPY TREE = LIVE OAK (OV)
UNDERSTORY TREE = CREPE MERTLE (VI)
SHRUB = WALTER'S VIBURNUM (VO)

REVISIONS

DATE NO.

ES

HAMMOCK RESERVE

NOT VALID WITHOUT PROFESSIONAL ENGINEER SEAL

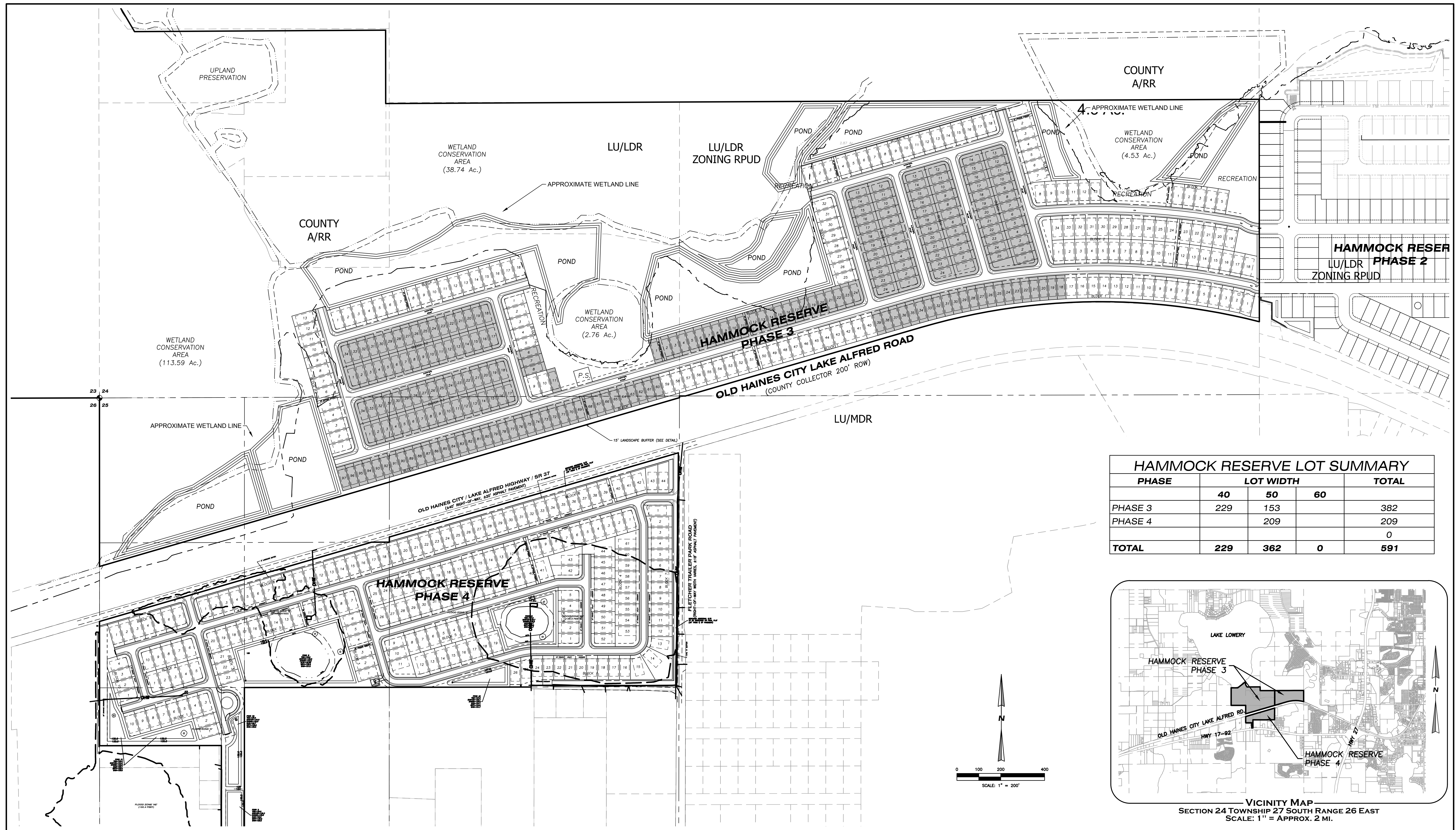
PRELIMINARY PLAT GEN LOT

SHEET:

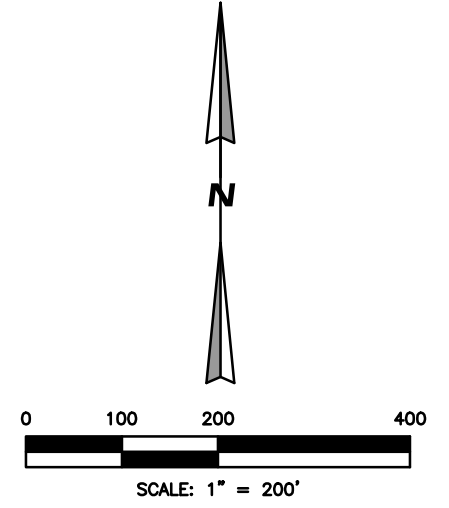
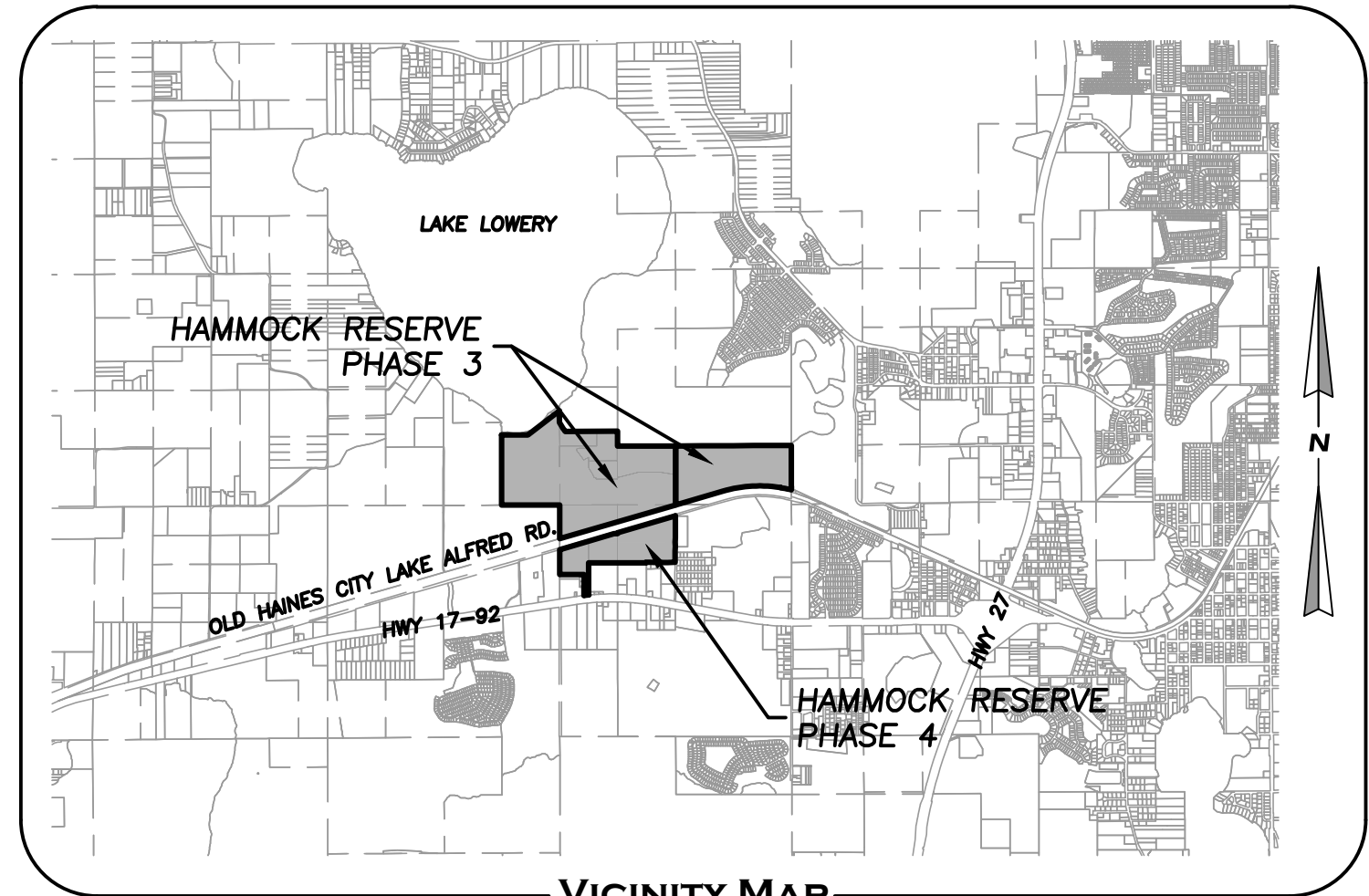
7.0

WOOD & ASSOCIATES
Engineering, LLC
1925 BARROW ROAD - LAKELAND, FL 33807
OFFICE: (888) 760-7000
CELL: (888) 662-0018
EMAIL: INFO@WOODCO.COM
CERTIFICATE OF AUTHORIZATION NO. 3208

PRADO GRANDE STREET
CITY OF HAINES CITY
POLK COUNTY, STATE OF FLORIDA



HAMMOCK RESERVE LOT SUMMARY				
PHASE	LOT WIDTH			TOTAL
	40	50	60	
PHASE 3	229	153		382
PHASE 4		209		209
TOTAL	229	362	0	591



CONCEPTUAL SITE PLAN HAMMOCK RESERVE PHASES 3 & 4

1 of 1 HAINES CITY, POLK COUNTY, FLORIDA

NO.	DATE	REVISION	BY

DATE: May 27, 2021 JOB #: 00844.0034

ABSOLUTE ENGINEERING, INC.
 (813) 221-1516 TEL 1000 N. ASHLEY DRIVE, SUITE 925
 (813) 344-0100 FAX C.A. NO. 28358 TAMPA, FLORIDA 33602

P:\A20-0043 Cassidy\Hammock Reserve\Master\DWGs\Preliminary\C-SPPL.dwg (SITE PLAN) MattB May 27, 2021 - 3:46pm

SECTION V

**SUPPLEMENTAL
ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)**

FOR

**HAMMOCK RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

Date: April 5, 2022

Prepared by

**Governmental Management Services - Central Florida, LLC
219 E. Livingston St.
Orlando, FL 32801**

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GMS-CF, LLC does not represent the Hammock Reserve Community
Development District as a Municipal Advisor or Securities Broker nor is GMS-CF, LLC registered to
provide such services as described in Section 15B of the
Securities and Exchange Act of 1934, as amended. Similarly, GMS-CF, LLC
does not provide the Hammock Reserve Community Development District with financial advisory services
or offer investment advice in any form.

1.0 Introduction

The Hammock Reserve Community Development District (the “District”) is a local unit of special-purpose government organized and existing under Chapter 190, Florida Statutes as amended. The District will issue approximately \$16,910,000 of tax-exempt bonds (the “Bonds”) for the purpose of financing a portion of certain “Phase 3” and “Phase 4” infrastructure improvements (“Assessment Area Three Project”) within the District more specifically described in the Amended and Restated Master Engineer’s Report dated June 17, 2021, noted as “Phase 3” and “Phase 4” on Exhibit 7 (“Assessment Area Three”) amended March 22, 2022 and prepared by Wood & Associates Engineering, LLC, as may be amended and supplemented from time to time (together the “Engineer’s Report”). The District anticipates the construction of all or a portion of the Capital Improvement Plan (“Capital Improvements”) that benefit property owners within the District.

1.1 Purpose

This Supplemental Assessment Methodology (the “Supplemental Report”) supplements the Amended and Restated Master Assessment Methodology, dated July 6, 2021, (“Master Report” and, together with the Supplemental Report, the “Assessment Report”). The Assessment Report provides for an assessment methodology that allocates the debt to be incurred by the District to benefiting properties within Assessment Area Three of the District. This Supplemental Report allocates the debt to properties based on the special benefits each receives from the Assessment Area Three Project. This Assessment Report reflects the actual terms and conditions of the issuance of Assessment Area Three Bonds issued to finance all or a portion of the Assessment Area Three Project. This Assessment Report is designed to conform to the requirements of Chapters 190 and 170, Florida Statutes, with respect to special assessments and is consistent with our understanding of case law on this subject.

The District intends to levy, impose and collect non ad valorem special assessments (“Special Assessments”) on the benefited lands within Assessment Area Three of the District securing repayment of the Bonds based on this Assessment Report. It is anticipated that all of the proposed Special Assessments will be collected through the Uniform Method of Collection described in Section 197.3632, Florida Statutes or any other legal means available to the District. It is not the intent of this Assessment Report to address any other assessments, if applicable, that may be levied by the District including those for maintenance and operation of the Bonds, a homeowner’s association, or any other unit of government.

1.2 Background

The District currently includes approximately 393.19 acres within Haines City, Florida. Assessment Area Three comprises of approximately 184.23 acres. The development program for Assessment Area Three of the District currently envisions approximately 591 residential units. The proposed development program is depicted in Table 1. It is recognized that such development plan may change, and this Assessment Report will be modified or supplemented accordingly.

The Capital Improvements contemplated by the District in the Assessment Area Three Project will provide facilities that benefit certain property within the District. Specifically, the District will construct and/or acquire certain offsite improvements, stormwater management facilities, utility facilities, roadways, entry features, and park and amenity features. The acquisition and construction costs are summarized in Table 2.

The assessment methodology is a four-step process.

1. The District Engineer must first determine the public infrastructure improvements that may be provided by the District and the costs to implement the Capital Improvements.
2. The District Engineer determines the assessable acres that benefit from the District's Capital Improvements.
3. A calculation is made to determine the funding amounts necessary to acquire and/or construct the Capital Improvements.
4. This amount is initially divided equally among the benefited properties on a prorated assessable acreage basis. Ultimately, as land is platted, this amount will be assigned to each of the benefited properties based on the number and type of platted units.

1.3 Special Benefits and General Benefits

Capital Improvements undertaken by the District create special and peculiar benefits to the property, different in kind and degree, for properties within its borders as well as general benefits to the public at large. However, as discussed within this Supplemental Report, these general benefits are incidental in nature and are readily distinguishable from the special and peculiar benefits, which accrue to property within Assessment Area Three of the District. The implementation of the Assessment Area Three Project enables properties within the Assessment Area Three boundaries of the District to be developed. Without the District's Assessment Area Three Project, there would be no infrastructure to support development of land within Assessment Area Three of the District. Without these improvements, development of the property within Assessment Area Three of the District would be prohibited by law.

The general public and property owners outside of the District may benefit from the provision of the Capital Improvements. However, any such benefit will be incidental for the purpose of the Assessment Area Three Project, which is designed solely to meet the needs of property within the District. Properties outside of the District boundaries do not depend upon the District's Capital Improvements. The property owners within the District are therefore receiving special benefits not received by the general public and those outside of the District's boundaries.

1.4 Requirements of a Valid Assessment Methodology

There are two requirements under Florida law for a valid special assessment:

- 1) The properties must receive a special benefit from the Capital Improvements being paid for.
- 2) The assessments must be fairly and reasonably allocated or apportioned to the properties being assessed based on the special benefit such properties receive.

Florida law provides for a wide application of special assessments that meet these two characteristics of special assessments.

1.5 Special Benefits Will Equal or Exceed the Costs Allocated

The special benefits provided to the property within Assessment Area Two of the District will be equal to or greater than the costs associated with providing these benefits. The District Engineer estimates that the District's Assessment Area Three Project that is necessary to support full development of property within Assessment Area Three of the District will cost approximately \$16,131,500. The District's Underwriter projects that financing costs required to fund a portion of the Assessment Area Three Project costs, the cost of issuance of the Bonds, the funding of a debt service reserve account and capitalized interest, will be approximately \$16,910,000. Developer is expected to fund the balance of the Assessment Area Three Project. Without the Assessment Area Three Project, the property within Assessment Area Three of the District would not be able to be developed and occupied by future residents of the community.

2.0 Assessment Methodology

2.1 Overview

The District will issue approximately \$16,910,000 in Bonds to fund a portion of the District's Assessment Area Three Project, provide for capitalized interest, a debt service reserve account and pay cost of issuance. It is the purpose of this Supplemental Report to allocate the \$16,910,000 in debt to the properties within Assessment Area Three of the District benefiting from the Assessment Area Three Project.

Table 1 identifies the land uses and lot sizes in the development as identified by the Developer within Assessment Area Three of the District. The District has commissioned an Engineer's Report that includes estimated construction costs for the Capital Improvements needed to support the development; these construction costs are outlined in Table 2. The Capital Improvements needed to support the development of Assessment Area Three are described in detail in the Engineer's

Report and are estimated to cost \$16,131,500. Based on the estimated costs, the size of the Bond issue under current market conditions needed to generate funds to pay for a portion of the Capital Improvements and related costs was determined by the District's Underwriter to total \$16,910,000. Table 3 shows the breakdown of the Bond sizing.

2.2 Allocation of Debt

Allocation of debt is a continuous process until the development plan for the District is completed. Until the platting process occurs, the Capital Improvements funded by District Bonds benefits all acres within Assessment Area Three of the District.

The initial assessments will be levied on an equal basis to all gross acreage within Assessment Area Three of the District. A fair and reasonable methodology allocates the debt incurred by the District proportionately to the properties receiving the special benefits. At this point all of the lands within Assessment Area Three of the District are benefiting from the Capital Improvements.

Once platting or the recording of a declaration of condominium of any portion of Assessment Area Three of the District into individual lots or units ("Assigned Properties") has begun, the Special Assessments will be levied to the Assigned Properties based on the benefits they receive, on a first platted, first assigned basis. The "Unassigned Properties" defined as property that has not been platted or subjected to a declaration of condominium, will continue to be assessed on a per acre basis. Eventually the development plan will be completed and the debt relating to the Bonds will be allocated to the assigned properties within the District, which are the beneficiaries of the Assessment Area Three Project, as depicted in Table 5 and Table 6. If there are changes to development plan, a true up of the assessment will be calculated to determine if a debt reduction or true-up payment from the Developer is required. The process is outlined in Section 3.0.

The assignment of debt in this Assessment Report sets forth the process by which debt is apportioned. As mentioned herein, this Assessment Report will be supplemented from time to time.

2.3 Allocation of Benefit

The Assessment Area Three Project consists of offsite improvements, stormwater management facilities, utility facilities, roadways, entry features, and park and amenity features and professional fees along with related incidental costs. There is one product type within the planned development. The single-family home has been set as the base unit and has been assigned one equivalent residential unit ("ERU"). Table 4 shows the allocation of benefit to the particular product type. It is important to note

that the benefit derived from the Capital Improvements on a particular unit will exceed the cost that the unit will be paying for such benefits.

2.4 Lienability Test: Special and Peculiar Benefit to the Property

Construction and/or acquisition by the District of its proposed Capital Improvements will provide several types of systems, facilities and services for its residents. These include offsite improvements, stormwater management facilities, utility facilities, roadways, entry features, and park and amenity features. The benefit from the Capital Improvements accrue in differing amounts and are somewhat dependent on the product type receiving the special benefits peculiar to that property type, which flow from the logical relationship of the Capital Improvements to the Assigned Properties.

Once these determinations are made, they are reviewed in the light of the special benefits peculiar to the property, which flow to the properties as a result of their logical connection from the Capital Improvements actually provided.

For the provision of the Assessment Area Three Project, the special and peculiar benefits are:

- 1) the added use of the property,
- 2) added enjoyment of the property, and
- 3) the increased marketability and value of the property.

These special and peculiar benefits are real and ascertainable but are not yet capable of being calculated as to value with mathematical certainty. However, each is more valuable than either the cost of, or the actual Special Assessment levied for the Capital Improvement as allocated.

2.5 Lienability Test: Reasonable and Fair Apportionment of the Duty to Pay Non-Ad Valorem Assessments

A reasonable estimate of the proportion of special and peculiar benefits received from the public improvements described in the Assessment Area Three Project is delineated in Table 5 (expressed as Allocation of Par Debt per Product Type). This is also shown on Table 7 depicting Allocation of Par Debt per Product Type.

The determination has been made that the duty to pay the non-ad valorem special assessments is fairly and reasonably apportioned because the special and peculiar benefits to the property derived from the acquisition and/or construction of the Assessment Area Two Project have been apportioned to the property within the District according to reasonable estimates of the special and peculiar benefits provided consistent with the product type of assignable properties.

Accordingly, no acre or parcel of property within the boundaries of Assessment Area Three will have a lien for the payment of any Special Assessment more than the determined special benefit particular to that property and therefore, the debt allocation will not be increased more than the debt allocation set forth in the Assessment Report.

In accordance with the benefit allocation suggested for the product types in Table 4, a total debt per unit and an annual assessment per unit have been calculated for each product type (Table 6). These amounts represent the preliminary anticipated per unit debt allocation assuming all anticipated assigned properties are built and sold as planned, and the entire proposed Assessment Area Two Project is constructed.

3.0 True Up Mechanism

Although the District does not process plats, declaration of condominiums, site plans or revisions thereto, it does have an important role to play during the course of platting and site planning. Whenever a plat, declaration of condominium or site plan is approved, the District must allocate a portion of its debt to the property according to this Assessment Report outlined herein. In addition, the District must also prevent any buildup of debt on property or land that could be fully conveyed and/or platted without all of the debt being allocated. To preclude this, when platting for 25%, 50%, 75% and 100% of the units planned for platting has occurred within the District, the District will determine the amount of anticipated Bond Special Assessment revenue that remains on the Unassigned Properties, taking into account the full development plan of the District. If the total anticipated Bond Special Assessment revenue to be generated from the Assigned and Unassigned Properties is greater than or equal to the maximum annual debt service then no debt reduction or true-up payment is required. In the case that the revenue generated is less than the required amount then a debt reduction or true-up payment by the landowner in the amount necessary to reduce the par amount of the outstanding Bonds plus accrued interest to a level that will be supported by the new net annual debt service assessments will be required.

If a true-up payment is made less than 45 days prior to an interest payment date, the amount of accrued interest will be calculated to the next succeeding interest payment date.

4.0 Assessment Roll

The District will initially distribute the Special Assessments across the property within Assessment Area Three of the District boundaries on a gross acreage basis. As Assigned Properties become known with certainty, the District will refine its allocation of debt from a per acre basis to a per unit basis as shown in Table 6. If the land use plan or product type changes, then the District will update Table 6 to reflect the changes as part of the foregoing true-up process. As a result, the assessment liens are

not finalized with certainty on any acre of land in the District prior to the time final Assigned Properties become known. The preliminary assessment roll is attached as Table 7.

**TABLE 1
HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT
DEVELOPMENT PROGRAM
SUPPLEMENTAL ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)**

Land Use	Total Assessable Units	ERUs per Unit (1)	Total ERUs
Single Family - Phase 3	382	1.00	382
Single Family - Phase 4	209	1.00	209
Total Units	591		591

(1) Benefit is allocated on an ERU basis; based on density of planned development, with Single Family = 1 ERU

* Unit mix is subject to change based on marketing and other factors

**TABLE 2
HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT
CAPITAL IMPROVEMENT PLAN COST ESTIMATES
SUPPLEMENTAL ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)**

Capital Improvement Plan ("CIP") (1)	
Offsite Improvements	\$ 1,350,000
Stormwater Management	\$ 3,390,000
Utilities (Water, Sewer, & Street Lighting)	\$ 6,080,000
Roadway	\$ 2,550,000
Entry Feature	\$ 620,000
Parks and Recreational Facilities	\$ 675,000
Contingencies	\$ 1,466,500
	\$ 16,131,500

(1) A detailed description of these improvements is provided in the Revised Amended and Restated Master Engineer's Report amended March 22, 2022

TABLE 3
HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT
BOND SIZING
SUPPLEMENTAL ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)

Description	Total
Construction Funds - Phase 3	\$ 9,390,968
Construction Funds - Phase 4	\$ 5,137,991
Debt Service Reserve	\$ 1,056,526
Capitalized Interest	\$ 786,315
Underwriters Discount	\$ 338,200
Cost of Issuance	\$ 200,000
Total Par	\$ 16,910,000

Bond Assumptions:	
Average Coupon Rate	4.65%
Amortization	30 years
Capitalized Interest	12 months
Debt Service Reserve	Max Annual
Underwriters Discount	2%

Prepared by: Governmental Management Services - Central Florida, LLC

**TABLE 4
HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT
ALLOCATION OF IMPROVEMENT COSTS
SUPPLEMENTAL ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)**

Land Use	No. of Units *	ERU Factor	Total ERUs	% of Total ERUs	Total Improvements Costs Per Product Type	Improvement Costs Per Unit
Single Family	591	1	591	100.00%	\$ 16,131,500	\$ 27,295
Totals	591		591	100.00%	\$ 16,131,500	

* Unit mix is subject to change based on marketing and other factors

Prepared by: Governmental Management Services - Central Florida, LLC

**TABLE 5
HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT
ALLOCATION OF TOTAL PAR DEBT TO EACH PRODUCT TYPE
SUPPLEMENTAL ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)**

Land Use	No. of Units *	Total Improvements		Allocation of Par		Par Debt Per Unit
		Costs Per Product Type	Type	Debt Per Product Type**	Type**	
Single Family	591	\$ 16,131,500	\$	16,910,000	\$	28,613
Totals	591	\$ 16,131,500	\$	16,910,000	\$	

* Unit mix is subject to change based on marketing and other factors

** Par debt was noticed at \$14,225,000

Prepared by: Governmental Management Services - Central Florida, LLC

**TABLE 6
HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT
PAR DEBT AND ANNUAL ASSESSMENTS FOR EACH PRODUCT TYPE
SUPPLEMENTAL ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)**

Land Use	No. of Units *	Allocation of Par Debt Per Product Type	Total Par Debt Per Unit	Maximum Annual Debt Service	Net Annual Debt Assessment Per Unit	Gross Annual Debt Assessment Per Unit (1)
Single Family	591	\$ 16,910,000	\$28,613	\$ 1,056,526	\$ 1,788	\$ 1,920
Totals	591	\$ 16,910,000		\$ 1,056,526		

(1) This amount includes estimated collection fees and early payment discounts when collected on the Polk County Tax Bill

* Unit mix is subject to change based on marketing and other factors

TABLE 7
HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT
PRELIMINARY ASSESSMENT ROLL
SUPPLEMENTAL ASSESSMENT METHODOLOGY (ASSESSMENT AREA THREE)

Owner	Property ID #'s	Acres	Total Par Debt Allocation Per Acre	Total Par Debt Allocated	Net Annual Debt Assessment Allocation	Gross Annual Debt Assessment Allocation (1)
Phase 3						
CH DEV HAMMOCK LLC	262724-000000-022010	63.93	\$ 79,335	\$ 5,071,887	\$ 316,888	\$ 340,740
CH DEV HAMMOCK LLC	262724-000000-042010	50.29	\$ 79,335	\$ 3,989,757	\$ 249,277	\$ 268,040
CH DEV HAMMOCK LLC	262725-000000-031030	6	\$ 79,335	\$ 476,010	\$ 29,741	\$ 31,979
CH DEV HAMMOCK LLC	262725-000000-033010	17.55	\$ 79,335	\$ 1,392,329	\$ 86,992	\$ 93,540
		137.77	\$	\$ 10,929,983	\$ 682,898	\$ 734,299
Phase 4						
HAMMOCK RESERVE PARTNERS LLC	262725-000000-031010	26.34	\$ 128,713	\$ 3,390,307	\$ 211,824	\$ 227,768
HAMMOCK RESERVE PARTNERS LLC	262725-000000-033030	8.92	\$ 128,713	\$ 1,148,122	\$ 71,734	\$ 77,133
HAMMOCK RESERVE PARTNERS LLC	262725-000000-033040	11.20	\$ 128,713	\$ 1,441,588	\$ 90,070	\$ 96,849
		46.46	\$	\$ 5,980,017	\$ 373,628	\$ 401,750
Totals		184.23	\$	\$ 16,910,000	\$ 1,056,526	\$ 1,136,049

(1) This amount includes estimated 7% to cover collection fees and early payment discounts when collected utilizing the uniform method.

Annual Assessment Periods	30
Projected Bond Rate (%)	4.65%
Maximum Annual Debt Service	\$1,056,526

Prepared by: Governmental Management Services - Central Florida, LLC

SECTION VI

*Item will be
provided under
separate cover.*

SECTION VII

PREPARED BY AND RETURN TO:

Roy Van Wyk, Esquire
KE LAW GROUP, PLLC
2016 Delta Boulevard, Suite 101
Tallahassee, Florida 32303

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is executed as of this _____ day of _____, 2022, by **JMBI REAL ESTATE, LLC**, a Florida limited liability company, with a mailing address of 346 E. Central Avenue, Winter Haven, Florida 33880 (hereinafter called the “grantor”), in favor of **HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT**, a local unit of special-purpose government, with a mailing address of 219 East Livingston Street, Orlando, Florida 32801 (hereinafter called the “grantee”).

[Wherever used herein, the terms “grantor” and “grantee” shall include the singular and plural, heirs, legal representatives, successors and assigns of individuals, and the successors and assigns of corporations, as the context requires.]

WITNESSETH:

That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Polk County, Florida, further described as:

Tracts A, A1, B, B1, B2, B3, C, J, K, L, and M, Hammock Reserve Phase 2, together with all roadways depicted therein as Bernard Boulevard, Maddie Drive, Deleon Street, Yarian Drive, and Whitney Way, according to the map or plat thereof as recorded in Plat Book 186, Pages 38-43, inclusive, of the Public Records of Polk County, Florida

Subject to restrictions, covenants, conditions and easements, of record; however, reference hereto shall not be deemed to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; and hereby warrants the title to said land and will defend the same against the lawful claims of all persons or entities whomsoever claiming by, through or under grantor.

Grantor represents that grantor has complied with the requirements of Section 196.295, Florida Statutes.

Note to Recorder: This deed conveys unencumbered property to a local unit of special-purpose government for no taxable consideration. Accordingly, pursuant to Rule 12B-4.014, F.A.C., only minimal documentary stamp tax is being paid hereon.

[Signature pages follow]

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed as of the day and year first written above.

GRANTOR:

Signed, sealed and delivered
in the presence of:

JMBI REAL ESTATE, LLC
a Florida limited liability company

Print Name: _____

By: Jack M. Berry, III
Its: Manager

Print Name: _____

STATE OF FLORIDA

COUNTY OF _____

SWORN TO AND SUBSCRIBED before me by means of physical presence or online notarization this ____ day of _____, 2022 by Jack M. Berry, III, as Manager of JMBI Real Estate, LLC, a Florida limited liability company, on behalf of company.

[notary seal]

(Official Notary Signature)
Name: _____
Personally Known _____
OR Produced Identification _____
Type of Identification _____

ACCEPTANCE BY GRANTEE

By execution of this Special Warranty Deed, Grantee does hereby accept this conveyance, subject to the foregoing covenants, conditions, and restrictions, and agrees that it and the Property are subject to all matters hereinabove set forth. Grantee further agrees to comply with all terms, covenants, conditions, and restrictions provided in this Special Warranty Deed.

Dated this ____ day of _____, 2022.

Signed, sealed and delivered
in the presence of:

**HAMMOCK RESERVE COMMUNITY
DEVELOPMENT DISTRICT**, a local unit of
special-purpose government established under
Chapter 190 of the Florida Statutes

Witnesses:

Name: _____

By: _____
Chairperson
Board of Supervisors

Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this ____ day of _____, 2022, by Warren K. (Rennie) Heath, II, as Chairperson of the Board of Supervisors of the Hammock Reserve Community Development District.

[notary seal]

(Official Notary Signature)
Name: _____
Personally Known _____
OR Produced Identification _____
Type of Identification _____

PREPARED BY AND RETURN TO:
Roy Van Wyk, Esquire
KE LAW GROUP, PLLC.
2016 Delta Boulevard, Suite 101
Tallahassee, Florida 32304

**LIMITED LIABILITY COMPANY
AFFIDAVIT FOR DEED**

STATE OF _____
COUNTY OF _____

I, Jack M. Berry, III (“Affiant”), on being duly sworn, state:

1. I am the Manager of JMBI Real Estate, LLC, a Florida limited liability company (collectively, the “Company”).
2. The management of the Company is vested in Affiant.
3. There has been no dissolution of the Company resulting from transfers of interests in the Company or otherwise. The Company has never been a debtor in a bankruptcy proceeding.
4. On behalf of the Company, I am authorized to transfer, convey, exchange, assign, mortgage or otherwise deal with or dispose of the property more particularly described on the attached **Exhibit A** (the “Property”) or any interests therein.
5. On behalf of the Company, I am authorized to execute, acknowledge and deliver instruments of any kind that are necessary, convenient or incidental to the transfer of any interest in real property owned or controlled by the Company.
6. On behalf of the Company, I acknowledge this affidavit may be relied upon by the Forest Lake Community Development District (the “District”) for the purpose of acquiring the Property and specifically consent to such reliance by the District.

Affiant

SWORN TO AND SUBSCRIBED before me by means of physical presence or online notarization this ____ day of _____, 2022 by Jack M. Berry, III, as Manager of JMBI Real Estate, LLC, a Florida limited liability company, on behalf of company.

(Official Notary Signature)

Name: _____

Personally Known _____

OR Produced Identification _____

Type of Identification _____

[notary seal]

Exhibit A
LEGAL DESCRIPTION OF PROPERTY

Tracts A, A1, B, B1, B2, B3, C, J, K, L, and M, Hammock Reserve Phase 2, together with all roadways depicted therein as Bernard Boulevard, Maddie Drive, Deleon Street, Yarian Drive, and Whitney Way, according to the map or plat thereof as recorded in Plat Book 186, Pages 38-43, inclusive, of the Public Records of Polk County, Florida

OWNER'S AFFIDAVIT

STATE OF _____
COUNTY OF _____

BEFORE ME, the undersigned authority, personally appeared Jack M. Berry, III (“Affiant”) as Manager of JMBI Real Estate, LLC, a Florida limited liability company (the “Company” or “Owner”), with a principal address of 346 East Central Avenue, Winter Haven, Florida 33880, who after first being duly sworn deposes and states as follows:

1. That Affiant knows of his own knowledge that JMBI REAL ESTATE, LLC is the owner of the fee simple title in and to certain lands located in Polk County, Florida described as follows:

Tracts A, A1, B, B1, B2, B3, C, J, K, L, and M, Hammock Reserve Phase 2, together with all roadways depicted therein as Bernard Boulevard, Maddie Drive, Deleon Street, Yarian Drive, and Whitney Way, according to the map or plat thereof as recorded in Plat Book 186, Pages 38-43, inclusive, of the Public Records of Polk County, Florida

2. That the above described land together with all improvements thereon (“Property”) is free and clear of all liens, taxes, encumbrances and claims of every kind, nature and description whatsoever.

3. Affiant knows of no facts by reason of which the title to, or possession of, the Property might be disputed or questioned, or by reason of which any claim to any part of the Property might be asserted adversely.

4. That there are no mechanic’s or materialman’s or laborer’s liens against the above described Property, nor any part thereof, and that no contractor, subcontractor, laborer or materialman, engineer, land engineer, or surveyor has any lien against said Property, or any part thereof.

5. That within the past ninety (90) days, the Owner has not made any improvements, alterations or repairs to the above described Property for which costs thereof remain unpaid, and that within the past ninety (90) days there have been no claims for labor or material furnished for repairing or improving the same at the instance of the Owner which remain unpaid.

6. That no proceedings in bankruptcy or receivership have ever been instituted by or against the Owner, nor has Owner ever made an assignment for the benefit of its creditors.

7. Affiant knows of no action or proceeding relating to the Property, which is now pending in any state or federal court in the United States affecting the Property, nor does Affiant know of any state or federal judgment or any federal lien of any kind or nature that now constitutes a lien or charge upon the Property.

8. Affiant knows of no unrecorded easements, liens, or assessments for sanitary sewers, streets, roadways, paving, other public utilities or improvements against the Property, nor are there any special assessments or taxes which are not shown as existing liens by the public records.

9. Affiant further states that he is familiar with the nature of an oath and with the penalties as provided by the laws of the State of Florida for falsely swearing to statements made in an instrument of this nature. Affiant further certifies that he has read the full facts set forth in this Affidavit and understands its content and context to be correct in all respects.

FURTHER AFFIANT SAYETH NOT.

By: _____
Jack M. Berry, III
Manager, JMBI Real Estate, LLC

Date: _____

SWORN TO AND SUBSCRIBED before me by means of physical presence or online notarization this ____ day of _____, 2022 by Jack M. Berry, III, as Manager of JMBI Real Estate, LLC, a Florida limited liability company, on behalf of company.

(Official Notary Signature)
Name: _____
Personally Known _____
OR Produced Identification _____
Type of Identification _____

[notary seal]

BILL OF SALE

KNOW ALL MEN BY THESE PRESENTS, that **JMBI REAL ESTATE, LLC**, a Florida limited liability company, with a mailing address of 346 E. Central Avenue, Winter Haven, Florida 33880 (the “**Seller**”), and in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration, to it paid by the **HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT**, a local unit of special-purpose government organized under Chapter 190, Florida Statutes, with a mailing address of c/o Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801 (the “**District**”), the receipt whereof is hereby acknowledged, has granted, bargained, sold, transferred and delivered, and by these presents does grant, bargain, sell, transfer, and deliver unto the District, its successors and assigns, the following described property, assets and rights, to-wit:

Tracts A, A1, B, B1, B2, B3, C, J, K, L, and M, Hammock Reserve Phase 2, together with all roadways depicted therein as Bernard Boulevard, Maddie Drive, Deleon Street, Yarian Drive, and Whitney Way, according to the map or plat thereof as recorded in Plat Book 186, Pages 38-43, inclusive, of the Public Records of Polk County, Florida

TO HAVE AND TO HOLD all of the foregoing unto the District, its successors and assigns, for its own use forever, free and clear and discharged of and from any and all obligations, claims or liens.

AND the Seller does hereby covenant to and with the District, its successors and assigns, that it is the lawful owner of the above-described real property and assets; that said real property and assets are free from all liens and encumbrances; that Seller has good right to sell said real property and assets; that all contractors, subcontractors and materialmen furnishing labor or materials relative to the construction of the real property and assets have been paid in full; and that Seller will warrant and defend the sale of its said real property and assets hereby made, unto the District, its successors and assigns, against the lawful claims and demands of all persons whosoever.

[SIGNATURES ON NEXT PAGE]

IN WITNESS WHEREOF, the Seller has caused this Bill of Sale to be executed as of the day and year first written above.

SELLER:

Signed, sealed and delivered
in the presence of:

JMBI REAL ESTATE, LLC
a Florida limited liability company

Print Name: _____

By: Jack M. Berry, III
Its: Manager

Print Name: _____

STATE OF FLORIDA

COUNTY OF _____

SWORN TO AND SUBSCRIBED before me by means of physical presence or online notarization this ____ day of _____, 2022 by Jack M. Berry, III, as Manager of JMBI Real Estate, LLC, a Florida limited liability company, on behalf of company.

[notary seal]

(Official Notary Signature)
Name: _____
Personally Known _____
OR Produced Identification _____
Type of Identification _____

SECTION VIII

RESOLUTION 2022-06

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT PROVIDING FOR AND AUTHORIZING THE USE OF ELECTRONIC DOCUMENTS AND SIGNATURES; ADOPTING AND IMPLEMENTING ELECTRONIC DOCUMENT CONTROL PROCESSES AND PROCEDURES; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the Hammock Reserve Community Development District (the “District”) is a local unit of special purpose government created and existing pursuant to Chapter 190, *Florida Statutes*, and situated within the City of Haines City, Polk County, Florida; and

WHEREAS, Chapter 190, *Florida Statutes*, authorizes the District to construct, install, operate, and/or maintain systems and facilities for certain basic infrastructure; and

WHEREAS, Chapter 190, Florida Statutes authorizes the District Board of Supervisors, to enter into various contracts for the purposes set forth therein; and

WHEREAS, the District Board of Supervisors finds that it is the interest of the District and its residents to reduce waste, costs, and to enhance services; and

WHEREAS, the District Board of Supervisors recognizes that the Florida Legislature, through the passage of The Electronic Signature Act of 1996, intended to, among other goals, facilitate economic development and efficient delivery of government services by means of reliable electronic messages and foster the development of electronic commerce through the use of electronic signatures to lend authenticity and integrity to writings in any electronic medium; and

WHEREAS, the District Board of Supervisors wishes to further these goals through the use of electronic documents and signatures.

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE HAMMOCK RESERVE COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. INCORPORATION OF RECITALS. The recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Resolution.

SECTION 2. FORCE AND EFFECT OF ELECTRONIC DOCUMENTS AND SIGNATURES. Unless otherwise provided by law, electronic documents and signatures submitted to and on behalf of the District may be used for all purposes and shall have the same force and effect as printed documents and manual signatures.

SECTION 3. AUTHORIZING UTILIZATION OF ELECTRONIC SIGNATURES AND DOCUMENTS. All contractors and personnel associated with the District are hereby authorized and encouraged to utilize electronic documents and signatures when reasonably practicable and as permitted by law. The District Manager is authorized and directed to obtain the provision of electronic document services or platforms offered by nationally recognized third party vendors that increase the efficiency of the District's operations.

SECTION 4. CONTROLS PROCESSES AND PROCEDURES. The District Board of Supervisors hereby authorizes and directs the District Manager to create control processes and procedures consistent with Florida Law to ensure adequate integrity, security, confidentiality, and auditability of all transactions conducted using electronic commerce.

SECTION 5. SEVERABILITY. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 6. EFFECTIVE DATE. This Resolution shall take effect upon its passage and shall remain in effect unless rescinded or repealed.

PASSED AND ADOPTED this 5th day of April 2022.

ATTEST:

**HAMMOCK RESERVE COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair

SECTION IX

SECTION C

Hammock Reserve

Field Management Report



April 05, 2022
Clayton Smith
Field Services Manager
GMS

Completed

Landscape Review and General Maint.

- ✚ Monitoring landscape maintenance as we shift into growing season.
- ✚ Signs added by northern phase 1 playground.



Site Items

Playground Inspected

- ✚ Monthly playground inspection completed, and sprayed for spiders.



New Amenity Progress

- ✚ Construction is progressing.
- ✚ Building and pool are both started.



Site Items

Sod issues

- ✚ Monitoring sod gaps, and damaged areas in both phases.



Irrigation

- ✚ Addressing irrigation controller issue in phase 1.



Upcoming

Solar Lighting



✚ Assessing lighting needs at mailboxes.



Conclusion

For any questions or comments regarding the above information, please contact me by phone at 407-201-1514, or by email at csmith@gmscfl.com. Thank you.

Respectfully,
Clayton Smith

SECTION D

SECTION 1

Hammock Reserve Community Development District

Summary of Checks

February 22, 2022 to March 27, 2022

Bank	Date	Check No.'s	Amount
General Fund	3/1/22	208	\$ 249.44
	3/4/22	209 - 210	\$ 271,815.44
	3/7/22	211 - 216	\$ 6,233.92
	3/14/22	217 - 220	\$ 8,042.77
			<hr/>
			\$ 286,341.57
			<hr/>
			\$ 286,341.57

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
3/01/22	00027	2/17/22	5470	202202	320	53800	47300		IRRIGATION REPAIRS FEB 22	*	190.98		
		2/17/22	5471	202202	320	53800	47300		IRRIGATION REPAIRS FEB 22	*	58.46		
									PRINCE & SONS, INC.			249.44	000208
3/04/22	00013	2/18/22	61202	FEB 202202	320	53800	43200		1190 PRADO GRANDE HYDRANT	*	133.76		
									CITY OF HAINES CITY			133.76	000209
3/04/22	00031	3/03/22	03032022	202203	300	20700	10000		FY22 DEBT SERVICE ASSESS	*	271,681.68		
									HAMMOCK RESERVE CDD C/O USBANK			271,681.68	000210
3/07/22	00010	3/01/22	AR030120	202203	310	51300	11000		SUPERVISOR FEE 03/01/2022	*	200.00		
									ANDREW RHINEHART			200.00	000211
3/07/22	00024	3/01/22	JF030120	202203	310	51300	11000		SUPERVISOR FEE 03/01/2022	*	200.00		
									JUSTIN KEITH FRYE			200.00	000212
3/07/22	00008	3/01/22	LS030120	202203	310	51300	11000		SUPERVISOR FEE 03/01/2022	*	200.00		
									LAUREN SCHWENK			200.00	000213
3/07/22	00011	3/01/22	MC030120	202203	310	51300	11000		SUPERVISOR FEE 03/01/2022	*	200.00		
									MATTHEW CASSIDY			200.00	000214
3/07/22	00027	3/01/22	5505	202203	320	53800	46200		LANDSCAPE MAINT - MAR 22	*	3,128.75		
		3/01/22	5506	202203	320	53800	46200		LANDSCAPE MAINT - MAR 22	*	2,105.17		
									PRINCE & SONS, INC.			5,233.92	000215
3/07/22	00007	3/01/22	RH030120	202203	310	51300	11000		SUPERVISOR FEE 03/01/2022	*	200.00		
									RENNIE HEATH			200.00	000216
3/14/22	00013	3/04/22	61202	FEB 202202	320	53800	43200		1190 PRADO GRANDE HYDRANT	*	4.02		
									CITY OF HAINES CITY			4.02	000217
3/14/22	00006	3/01/22	43	202203	310	51300	34000		MANAGEMENT FEES MAR22	*	3,004.17		

HAMR HAMMOCK RESERV ZYAN

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
3/01/22		43		202203	310	51300	35200			*	100.00		
			WEBSITE ADMIN MAR22										
3/01/22		43		202203	310	51300	35100			*	150.00		
			INFORMATION TEC MAR22										
3/01/22		43		202203	310	51300	31400			*	500.00		
			DISSEMINATION SVCS MAR22										
3/01/22		43		202203	310	51300	51000			*	2.80		
			OFFICE SUPPLIES										
3/01/22		43		202203	310	51300	42000			*	25.00		
			POSTAGE										
3/01/22		43		202203	310	51300	42500			*	7.50		
			COPIES										
3/01/22		44		202203	320	53800	34000			*	625.00		
			FIELD MANAGEMENT MAR22										
GOVERNMENTAL MANAGEMENT SERVICES											4,414.47	000218	
3/14/22	00025	3/11/22	1632	202202	310	51300	31500			*	2,133.48		
			GENERAL COUNSEL FEB22										
KE LAW GROUP, PLLC											2,133.48	000219	
3/14/22	00019	3/14/22	03142022	202203	300	15500	10000			*	1,490.80		
			EQUIPMENT LEASE - APR 22										
WHFS,LLC											1,490.80	000220	
TOTAL FOR BANK A											286,341.57		
TOTAL FOR REGISTER											286,341.57		

SECTION 2

Hammock Reserve
Community Development District

Unaudited Financial Reporting
February 28, 2022



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Hammock Reserve
Community Development District
Combined Balance Sheet
February 28, 2022

	<i>General Fund</i>	<i>Debt Service Fund</i>	<i>Capital Projects Fund</i>	<i>Totals Governmental Funds</i>
Assets:				
Cash:				
Operating Account	\$ 358,635	\$ -	\$ -	\$ 358,635
Capital Projects Account	\$ -	\$ -	\$ 1,000	\$ 1,000
Investments:				
<u>Series 2020</u>				
Reserve	\$ -	\$ 154,000	\$ -	\$ 154,000
Revenue	\$ -	\$ 21,159	\$ -	\$ 21,159
Construction	\$ -	\$ -	\$ 12,204	\$ 12,204
<u>Series 2021</u>				
Reserve	\$ -	\$ 278,100	\$ -	\$ 278,100
Revenue	\$ -	\$ 1,364	\$ -	\$ 1,364
Prepayment	\$ -	\$ 22,388	\$ -	\$ 22,388
Construction	\$ -	\$ -	\$ 709,908	\$ 709,908
Cost of Issuance	\$ -	\$ -	\$ 0	\$ 0
Due from General Fund	\$ -	\$ 271,682	\$ -	\$ 271,682
Prepaid Expenses	\$ 1,828	\$ -	\$ -	\$ 1,828
Total Assets	\$ 360,462	\$ 748,692	\$ 723,111	\$ 1,832,265
Liabilities:				
Accounts Payable	\$ 2,521	\$ -	\$ -	\$ 2,521
Due to Debt Service	\$ 271,682	\$ -	\$ -	\$ 271,682
Retainage Payable	\$ -	\$ -	\$ 56,915	\$ 56,915
Total Liabilities	\$ 274,202	\$ -	\$ 56,915	\$ 331,118
Fund Balance:				
Nonspendable:				
Prepaid Items	\$ 1,828	\$ -	\$ -	\$ 1,828
Restricted for:				
Debt Service - Series 2020	\$ -	\$ 446,840	\$ -	\$ 446,840
Debt Service - Series 2021	\$ -	\$ 301,852	\$ -	\$ 301,852
Capital Projects - Series 2020	\$ -	\$ -	\$ 13,204	\$ 13,204
Capital Projects - Series 2021	\$ -	\$ -	\$ 652,992	\$ 652,992
Unassigned	\$ 84,432	\$ -	\$ -	\$ 84,432
Total Fund Balances	\$ 86,260	\$ 748,692	\$ 666,196	\$ 1,501,148
Total Liabilities & Fund Balance	\$ 360,462	\$ 748,692	\$ 723,111	\$ 1,832,265

Hammock Reserve

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2022

	Adopted Budget	Prorated Budget Thru 02/28/22	Actual Thru 02/28/22	Variance
Revenues:				
Assessments - Tax Roll	\$ 138,216	\$ 131,402	\$ 131,402	\$ -
Assessments - Lot Closings	\$ -	\$ -	\$ 1,287	\$ 1,287
Developer Contributions	\$ 190,989	\$ 15,000	\$ 15,000	\$ -
Total Revenues	\$ 329,205	\$ 146,402	\$ 147,688	\$ 1,287

Expenditures:

General & Administrative:

Supervisor Fees	\$ 12,000	\$ 5,000	\$ 2,600	\$ 2,400
Engineering	\$ 15,000	\$ 6,250	\$ -	\$ 6,250
Attorney	\$ 30,000	\$ 12,500	\$ 7,654	\$ 4,846
Annual Audit	\$ 4,500	\$ -	\$ -	\$ -
Assessment Administration	\$ 5,000	\$ 5,000	\$ 5,000	\$ -
Arbitrage	\$ 1,350	\$ 450	\$ 450	\$ -
Dissemination	\$ 7,000	\$ 2,500	\$ 2,250	\$ 250
Trustee Fees	\$ 10,650	\$ 3,704	\$ 3,704	\$ -
Management Fees	\$ 36,050	\$ 15,021	\$ 15,021	\$ (0)
Information Technology	\$ 1,800	\$ 750	\$ 750	\$ -
Website Maintenance	\$ 1,200	\$ 500	\$ 500	\$ -
Telephone	\$ 300	\$ 125	\$ -	\$ 125
Postage & Delivery	\$ 1,000	\$ 417	\$ 179	\$ 238
Insurance	\$ 5,500	\$ 5,500	\$ 5,175	\$ 325
Printing & Binding	\$ 1,000	\$ 417	\$ 58	\$ 359
Legal Advertising	\$ 10,000	\$ 4,167	\$ -	\$ 4,167
Other Current Charges	\$ 5,000	\$ 2,083	\$ 195	\$ 1,888
Office Supplies	\$ 625	\$ 260	\$ 11	\$ 249
Travel Per Diem	\$ 660	\$ 275	\$ -	\$ 275
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ 175	\$ -
Total General & Administrative	\$ 148,810	\$ 65,093	\$ 43,722	\$ 21,372

Hammock Reserve

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2022

	Adopted	Prorated Budget	Actual	
	Budget	Thru 02/28/22	Thru 02/28/22	Variance
<i>Operations & Maintenance</i>				
Field Expenditures				
Property Insurance	\$ 5,000	\$ 5,000	\$ 1,543	\$ 3,457
Field Management	\$ 15,000	\$ 6,250	\$ 3,125	\$ 3,125
Landscape Maintenance	\$ 61,250	\$ 25,521	\$ 15,065	\$ 10,456
Landscape Replacement	\$ 5,000	\$ 2,083	\$ -	\$ 2,083
Streetlights	\$ 18,000	\$ 7,500	\$ 3,707	\$ 3,793
Electric	\$ 7,200	\$ 3,000	\$ 936	\$ 2,064
Water & Sewer	\$ 1,500	\$ 625	\$ 5,587	\$ (4,962)
Sidewalk & Asphalt Maintenance	\$ 2,500	\$ 1,042	\$ -	\$ 1,042
Irrigation Repairs	\$ 5,000	\$ 2,083	\$ 655	\$ 1,428
General Repairs & Maintenance	\$ 5,000	\$ 2,083	\$ -	\$ 2,083
Contingency	\$ 2,500	\$ 1,042	\$ -	\$ 1,042
Subtotal Field Expenditures	\$ 127,950	\$ 56,229	\$ 30,618	\$ 25,612
Amenity Expenditures				
Amenity - Electric	\$ 8,400	\$ -	\$ -	\$ -
Amenity - Water	\$ 2,042	\$ -	\$ -	\$ -
Playground Lease	\$ 8,167	\$ 5,833	\$ 7,454	\$ (1,621)
Internet	\$ 1,750	\$ -	\$ -	\$ -
Pest Control	\$ 420	\$ -	\$ -	\$ -
Janitorial Services	\$ 4,958	\$ -	\$ -	\$ -
Security Services	\$ 5,833	\$ -	\$ -	\$ -
Pool Maintenance	\$ 10,500	\$ -	\$ -	\$ -
Amenity Access Management	\$ 2,917	\$ -	\$ -	\$ -
Amenity Repairs & Maintenance	\$ 583	\$ -	\$ -	\$ -
Contingency	\$ 4,375	\$ -	\$ -	\$ -
Subtotal Amenity Expenditures	\$ 49,945	\$ 5,833	\$ 7,454	\$ (1,621)
Total Operations & Maintenance	\$ 177,895	\$ 62,063	\$ 38,072	\$ 23,991
Total Expenditures	\$ 326,705	\$ 127,156	\$ 81,793	\$ 45,363
Excess (Deficiency) of Revenues over Expenditures	\$ 2,500		\$ 65,895	
<i>Other Financing Sources/(Uses):</i>				
Transfer In/(Out)	\$ (2,500)	\$ -	\$ -	\$ -
Total Other Financing Sources/(Uses)	\$ (2,500)		\$ -	
Net Change in Fund Balance	\$ -		\$ 65,895	
Fund Balance - Beginning	\$ -		\$ 20,365	
Fund Balance - Ending	\$ -		\$ 86,260	

Hammock Reserve

Community Development District

Debt Service Fund Series 2020

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2022

	Adopted Budget	Prorated Budget Thru 02/28/22	Actual Thru 02/28/22	Variance
Revenues:				
Assessments - Tax Roll	\$ 308,327	\$ 292,840	\$ 292,840	\$ -
Interest	\$ -	\$ -	\$ 6	\$ 6
Total Revenues	\$ 308,327	\$ 292,840	\$ 292,846	\$ 6
Expenditures:				
Interest - 11/1	\$ 102,391	\$ 102,391	\$ 102,391	\$ -
Principal - 5/1	\$ 100,000	\$ -	\$ -	\$ -
Interest - 5/1	\$ 102,391	\$ -	\$ -	\$ -
Total Expenditures	\$ 304,781	\$ 102,391	\$ 102,391	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ 3,546		\$ 190,455	
Other Financing Sources/(Uses):				
Transfer In/(Out)	\$ -	\$ -	\$ (154,005)	\$ (154,005)
Total Other Financing Sources/(Uses)	\$ -	\$ -	\$ (154,005)	\$ (154,005)
Net Change in Fund Balance	\$ 3,546		\$ 36,450	
Fund Balance - Beginning	\$ 102,395		\$ 410,390	
Fund Balance - Ending	\$ 105,940		\$ 446,840	

Hammock Reserve

Community Development District

Debt Service Fund Series 2021

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2022

	Adopted Budget	Prorated Budget Thru 02/28/22	Actual Thru 02/28/22	Variance
Revenues:				
Assessments - Direct Bill	\$ 278,100	\$ 205,392	\$ 1,350	\$ (204,042)
Assessments - Prepayment	\$ -	\$ -	\$ 22,388	\$ 22,388
Interest	\$ -	\$ -	\$ 8	\$ 8
Total Revenues	\$ 278,100	\$ 205,392	\$ 23,745	\$ (181,647)
Expenditures:				
Interest - 11/1	\$ 79,256	\$ 79,256	\$ 79,256	\$ -
Principal - 5/1	\$ 100,000	\$ -	\$ -	\$ -
Interest - 5/1	\$ 87,522	\$ -	\$ -	\$ -
Total Expenditures	\$ 266,778	\$ 79,256	\$ 79,256	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ 11,322		\$ (55,511)	
Fund Balance - Beginning	\$ 79,257		\$ 357,362	
Fund Balance - Ending	\$ 90,579		\$ 301,852	

Hammock Reserve

Community Development District

Capital Projects Fund Series 2020

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2022

	Adopted Budget	Prorated Budget Thru 02/28/22	Actual Thru 02/28/22	Variance
Revenues				
Developer Contributions	\$ -	\$ -	\$ 230,042	\$ 230,042
Interest	\$ -	\$ -	\$ 2	\$ 2
Total Revenues	\$ -	\$ -	\$ 230,044	\$ 230,044
Expenditures:				
Capital Outlay	\$ -	\$ -	\$ 69,097	\$ 69,097
Total Expenditures	\$ -	\$ -	\$ 69,097	\$ 69,097
Excess (Deficiency) of Revenues over Expenditures	\$ -	\$ -	\$ 160,947	
Other Financing Sources/(Uses)				
Transfer In/(Out)	\$ -	\$ -	\$ 154,005	\$ 154,005
Total Other Financing Sources (Uses)	\$ -	\$ -	\$ 154,005	\$ 154,005
Net Change in Fund Balance	\$ -	\$ -	\$ 314,952	
Fund Balance - Beginning	\$ -	\$ -	\$ (301,748)	
Fund Balance - Ending	\$ -	\$ -	\$ 13,204	

Hammock Reserve
Community Development District
Capital Projects Fund Series 2021
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending February 28, 2022

	Adopted Budget	Prorated Budget Thru 02/28/22	Actual Thru 02/28/22	Variance
Revenues				
Interest	\$ -	\$ -	\$ 58	\$ 58
Total Revenues	\$ -	\$ -	\$ 58	\$ 58
Expenditures:				
Capital Outlay	\$ -	\$ -	\$ 1,604,162	\$ (1,604,162)
Total Expenditures	\$ -	\$ -	\$ 1,604,162	\$ (1,604,162)
Excess (Deficiency) of Revenues over Expenditures	\$ -	\$ -	\$ (1,604,104)	
Fund Balance - Beginning	\$ -		\$ 2,257,096	
Fund Balance - Ending	\$ -		\$ 652,992	

Hammock Reserve
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Revenues:													
Assessments - Tax Roll	\$ -	\$ -	\$ 66,405	\$ 6,780	\$ 58,217	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 131,402
Assessments - Lot Closings	\$ 1,287	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,287
Developer Contributions	\$ -	\$ 15,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,000
Total Revenues	\$ 1,287	\$ 15,000	\$ 66,405	\$ 6,780	\$ 58,217	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 147,688
Expenditures:													
General & Administrative:													
Supervisor Fees	\$ 2,600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,600
Engineering	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Attorney	\$ 2,081	\$ 1,548	\$ 478	\$ 1,413	\$ 2,133	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,654
Annual Audit	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Assessment Administration	\$ 5,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,000
Arbitrage	\$ 450	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 450
Dissemination	\$ 500	\$ 500	\$ 250	\$ 500	\$ 500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,250
Trustee Fees	\$ -	\$ -	\$ -	\$ 3,704	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,704
Management Fees	\$ 3,004	\$ 3,004	\$ 3,004	\$ 3,004	\$ 3,004	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,021
Information Technology	\$ 150	\$ 150	\$ 150	\$ 150	\$ 150	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 750
Website Maintenance	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500
Telephone	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Postage & Delivery	\$ 45	\$ 18	\$ 32	\$ 72	\$ 12	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 179
Insurance	\$ 5,175	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,175
Printing & Binding	\$ 11	\$ 33	\$ 11	\$ -	\$ 3	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 58
Legal Advertising	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Other Current Charges	\$ 36	\$ 31	\$ 46	\$ 39	\$ 44	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 195
Office Supplies	\$ 3	\$ 3	\$ 3	\$ 0	\$ 3	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 11
Travel Per Diem	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Dues, Licenses & Subscriptions	\$ 175	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 175
Total General & Administrative	\$ 19,330	\$ 5,387	\$ 4,073	\$ 8,982	\$ 5,949	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 43,722

Hammock Reserve
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<i>Operations & Maintenance</i>													
Field Expenditures													
Property Insurance	\$ -	\$ -	\$ -	\$ -	1,543	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,543
Field Management	\$ 625	\$ 625	\$ 625	\$ 625	\$ 625	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	3,125
Landscape Maintenance	\$ 2,550	\$ 3,129	\$ 3,129	\$ 3,129	\$ 3,129	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	15,065
Landscape Replacement	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Streetlights	\$ 546	\$ 617	\$ 1,578	\$ 789	\$ 176	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	3,707
Electric	\$ 58	\$ 201	\$ 203	\$ 233	\$ 240	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	936
Water & Sewer	\$ -	\$ -	\$ 3,567	\$ 1,882	\$ 138	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	5,587
Sidewalk & Asphalt Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Irrigation Repairs	\$ -	\$ -	\$ -	\$ 406	\$ 249	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	655
General Repairs & Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Contingency	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Subtotal Field Expenditures	\$ 3,779	\$ 4,572	\$ 9,102	\$ 7,064	\$ 6,100	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	30,618
Amenity Expenditures													
Amenity - Electric	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Amenity - Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Playground Lease	\$ 1,491	\$ 1,491	\$ 1,491	\$ 1,491	\$ 1,491	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	7,454
Internet	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Pest Control	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Janitorial Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Security Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Pool Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Amenity Access Management	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Amenity Repairs & Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Contingency	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Subtotal Amenity Expenditures	\$ 1,491	\$ 1,491	\$ 1,491	\$ 1,491	\$ 1,491	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	7,454
Total Operations & Maintenance	\$ 5,270	\$ 6,063	\$ 10,593	\$ 8,555	\$ 7,591	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	38,072
Total Expenditures	\$ 24,600	\$ 11,451	\$ 14,666	\$ 17,537	\$ 13,540	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	81,793
Excess (Deficiency) of Revenues over Expenditures	\$ (23,313)	\$ 3,549	\$ 51,739	\$ (10,757)	\$ 44,677	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	65,895
Transfer In/(Out)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Total Other Financing Sources/Uses	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Net Change in Fund Balance	\$ (23,313)	\$ 3,549	\$ 51,739	\$ (10,757)	\$ 44,677	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	65,895

Hammock Reserve

Community Development District

Long Term Debt Report

Series 2020, Special Assessment Revenue Bonds		
Interest Rate:	2.625%, 3.250%, 4.000%	
Maturity Date:	5/1/2051	
Reserve Fund Definition	50% Maximum Annual Debt Service	
Reserve Fund Requirement	\$154,000	
Reserve Fund Balance	\$154,000	
Bonds Outstanding - 10/22/20		\$5,380,000
Current Bonds Outstanding		\$5,380,000

Series 2021, Special Assessment Revenue Bonds		
Interest Rate:	2.375%, 3.000%, 3.375%, 4.000%	
Maturity Date:	5/1/2051	
Reserve Fund Definition	Maximum Annual Debt Service	
Reserve Fund Requirement	\$278,100	
Reserve Fund Balance	\$278,100	
Bonds Outstanding - 5/18/21		\$4,990,000
Current Bonds Outstanding		\$4,990,000

Hammock Reserve
COMMUNITY DEVELOPMENT DISTRICT
Special Assessment Receipts
Fiscal Year 2022

Gross Assessments \$ 148,618.47 \$ 331,209.00 \$ 479,827.47
 Net Assessments \$ 138,215.18 \$ 308,024.37 \$ 446,239.55

ON ROLL ASSESSMENTS

30.97% 69.03% 100.00%

Date	Distribution	Gross Amount	Discount/Penalty	Commissions	Interest	Net Receipts	O&M Portion	2020 Debt Service	Total
12/14/21	ACH	\$37,680.66	(\$1,507.14)	(\$723.47)	\$0.00	\$35,450.05	\$10,980.06	\$24,469.99	\$35,450.05
12/27/21	1% Fee Adj	(\$4,798.27)	\$0.00	\$0.00	\$0.00	(\$4,798.27)	(\$1,486.18)	(\$3,312.09)	(\$4,798.27)
12/31/21	ACH	\$195,215.15	(\$7,724.47)	(\$3,749.81)	\$0.00	\$183,740.87	\$56,910.64	\$126,830.23	\$183,740.87
01/18/22	ACH	\$23,027.07	(\$690.91)	(\$446.72)	\$0.00	\$21,889.44	\$6,779.89	\$15,109.55	\$21,889.44
02/18/22	ACH	\$198,827.15	(\$7,032.20)	(\$3,835.90)	\$0.00	\$187,959.05	\$58,217.15	\$129,741.90	\$187,959.05
TOTAL		\$ 449,951.76	\$ (16,954.72)	\$ (8,755.90)	\$ -	\$ 424,241.14	\$ 131,401.56	\$ 292,839.58	\$ 424,241.14

95%	Net Percent Collected
\$ 21,998.41	Balance Remaining to Collect

DIRECT BILL ASSESSMENTS

JMBI Real Estate					
			Net Assessments	\$273,856.26	\$273,856.26
Date Received	Due Date	Check Number	Net Assessed	Amount Received	Series 2021 Debt Service
	12/1/21		\$136,928.13		
	2/1/22		\$68,464.07		
	5/1/22		\$68,464.07		
			\$ 273,856.27	\$ -	\$ -

SECTION 3

Requisition	Payee/Vendor	Amount
63	Tucker Paving, Inc.	\$ 24,634.29
64	Leading Edge Land Services, Inc.	\$ 2,402.25
65	JMBI Real Estate, LLC	\$ 3,000.00
66	Stewart & Associates Property Services	\$ 19,000.00
67	Wood & Associates Engineering	\$ 75.00
68	Danielle Fence Mfg Co., Inc.	\$ 64,994.20
69	Faulkner Engineering Services, Inc.	\$ 13,500.00
70	Stewart & Associates Property Services	\$ 50,390.00
71	Leading Edge Land Services, Inc.	\$ 419.25
72	KE Law Group	\$ 38.00
73	Stewart & Associates Property Services	\$ 2,600.00
74	Signature Privacy Walls of Florida, Inc.	\$ 147,100.00
	TOTAL	\$ 328,152.99